

OPEN MEETING

REGULAR MEETING OF THE THIRD LAGUNA HILLS MUTUAL ARCHITECTURAL CONTROL AND STANDARDS COMMITTEE

Monday, February 26, 2018 – 9:30 a.m. Laguna Woods Village Community Center Sycamore Room 24351 El Toro Road

NOTICE AND AGENDA

- 1. Call to Order
- 2. Acknowledgement of Media
- 3. Approval of the January 18, 2018 Report
- 4. Approval of the Agenda
- 5. Chair Remarks
- 6. Member Comments (Items Not on the Agenda)
- 7. Department Head Update

Consent:

All matters listed under the Consent Calendar are considered routine and will be enacted by the Committee by one motion. In the event that an item is removed from the Consent Calendar by members of the Committee, such item(s) shall be the subject of further discussion and action by the Committee.

Reports:

- 8. Review Staff's Recommendations for Standard 19 Balcony Modesty Paneling
- 9. Review Proposed Closet/Partition Walls Policy

Items for Discussion and Consideration:

- 10. 3191-D (La Reina, PL804RA) Replace Existing Enclosed Rear Patio with Room Addition
- 11. 3238-B (La Reina, SM903B) Room Addition on Front Patio
- 12. 5037 (Villa Reposa, C11RC) Room Addition and Patio Cover on Rear Patio
- 13. Review Next Steps for Standards 5a, 5b, and 5c Satellite Dishes
- 14. Review Architectural Standard 12 Exterior Wall Attachments
- 15. Review Architectural Standard 14 Fireplaces and Discuss Next Step
- 16. Review Architectural Standard 16 Garage Doors and Discuss Next Step

Items for Future Agendas

Concluding Business:

- 17. Committee Member Comments
- 18. Date of Next Regular Meeting and Bus Tour March 26, 2018
- 19. Adjourn

Bill Walsh, Chair Kurt Wiemann, Staff Officer Eve Morton, Alterations Coordinator: 949-268-2565



OPEN MEETING

REGULAR MEETING OF THE THIRD LAGUNA HILLS MUTUAL ARCHITECTURAL CONTROL AND STANDARDS COMMITTEE

Thursday, January 18, 2018 – 9:30 a.m. Laguna Woods Village Community Center Sycamore Room 24351 El Toro Road

(The Bus Tour for Directors and Advisors may follow this meeting)

<u>REPORT</u>

MEMBERS PRESENT: Chair – Bill Walsh, John Frankel, Steve Parsons, Roy Bruninghaus, Bert Moldow, Rosemarie diLorenzo and VMS Director Dennis O'Connor

MEMBERS ABSENT: Steve Parsons

ADVISORS PRESENT: Mike Butler and Bob Hatch

STAFF PRESENT: Kurt Wiemann, Gavin Fogg, and Eve Morton

1. Call to Order

Chair Walsh called the meeting to order at 9:30 a.m.

2. Acknowledgement of Media

No media were present.

3. Approval of the Agenda

Director Di Lorenzo made a motion to approve amending the agenda by adding "Review Standards 10, 11, and 12" to the agenda. Director Frankel seconded. The Committee was in unanimous support.

4. Approval of December 18, 2017 Report

Director Frankel moved to approve the Report. Director Bruninghaus seconded. The Committee approved unanimously.

5. Committee Chair Remarks

Chair Walsh reported that the questions the Committee discussed regarding fireplaces at the last meeting were brought up with legal and that the residents own the fireplace box and the flues are owned by the Mutual. Staff was asked to put the fireplace Standard back onto the next agenda. Chair Walsh will follow up with Brad Hudson, Ernesto Munoz, and legal about this topic before the next Committee meeting.

Chair Walsh reported that he has assumed the role of Chair of the Committee as Director Bert Moldow has stepped aside.

Staff was asked to have Corporate Secretary include the redlined version of any proposed modifications to a Standard into the Board packets.

Advisor Butler asked Staff to add the number 1.0 to the note regarding General Requirements section of each Standard.

6. Member Comments - (Items Not on the Agenda)

(3028-B) Helvia Miller was told she would be informed when her neighbor's variance request would be on the agenda. She asked about earthquake insurance and about what she could do about a smoking neighbor.

7. Department Head Update

Mr. Wiemann reported that he felt the previous variance approval letters were incomplete because they weren't informing residents about next steps after their variance is approved. Staff will now be sending the forms a resident needs to fill out and return with the approval letter to save residents a trip to Resident Services. He also reported that another Inspector is being hired.

Director Moldow inquired asked about status of the new alterations pamphlet and Staff informed him it was being worked on at Brandtailers.

President diLorenzo asked when appointments with residents will begin. Mr. Wiemann said when Alterations will be in the new office area which will most likely be at the end of February.

Chair Walsh said the people who were denied driveway pavers still have a cracked driveway and will need information from Staff on how to remedy that. Staff said they will contact the Streets and Sidewalks Section. Director Moldow requested Staff provide the Committee the cost of fixing the cracked driveway.

Consent:

All matters listed under the Consent Calendar are considered routine and will be enacted by the Committee by one motion. In the event that an item is removed from the Consent Calendar by members of the Committee, such item(s) shall be the subject of further discussion and action by the Committee.

8. Revised Standard 13 – Fences, Wrought Iron

Chair Walsh made a motion to move this item down to discussion. Director Moldow seconded. The Committee approved unanimously.

Reports:

None

Items for Discussion and Consideration:

9. 3064-A (San Clemente, OO03_2) Window Modifications to Kitchen and Bedroom

President diLorenzo made a motion to follow Staff's recommendation to deny the relocation of the kitchen window. Director Bruninghaus seconded. The motion passed with a four to two vote.

President diLorenzo made a motion to follow Staff's recommendation to allow the relocation of the bedroom window. Director Bruninghaus seconded. The motion was approved unanimously.

10. 3386-C (Andaluz, P203RA) Retain Non-Standard Front Entry Door Color

Director Moldow made a motion to approve allowing the retention of the door color. Director Bruninghaus seconded. A vote was cast and the motion was approved unanimously.

11. Review Architectural Standard 17 – Gates

The Committee asked Staff to make some additional changes to the Standard.

The Committee requested that Staff include a redline version of the Standard in the Board packets.

The Committee requested that Staff always make a recommendation in Staff reports.

The Committee advised Staff that if the Committee makes revisions to a Standard after review; the revisions be sent directly to the Board for approval, without coming back to the Committee.

President diLorenzo made a motion to approve the modified Standard, as amended in the Committee, for gates. Director Moldow seconded. The motion was approved unanimously.

12. Review Architectural Standard 18 – Gutters and Downspouts

Director Moldow made a motion to approve the modified Standard. President diLorenzo seconded. The motion was approved unanimously.

13. Review Architectural Standard 19 – Balcony Modesty Paneling

The Committee asked Staff to make some additional minor revisions to the Standard and reflect them on a redlined version for Board approval. Additionally, Staff was directed to revise the title to Balcony Railing Panels.

After further discussion, the Committee felt that the panels should be more consistent throughout the Mutual. Staff was requested to bring recommendations of material for railing panels, with examples, to the next meeting. Staff was also requested to make a recommendation about whether permitting railing panels should continue.

14. Review Architectural Standard 21 – Patio Slabs

Director Bruninghaus made a motion to approve the revised Standard as presented. Director Frankel seconded. The motion was approved unanimously.

14a. Standard 10 – Exterior Doors

The Committee asked Staff to make some additional minor revisions to the Standard and reflect them on a redlined version for Board approval.

President diLorenzo made a motion to approve the modified Standard, as amended, and Director Bruninghaus seconded. The motion was approved unanimously.

14b. Standard 11 – Exterior Floor Coverings

The Committee asked Staff to make some additional minor revisions to the Standard and reflect them on a redlined version for Board approval.

President diLorenzo made a motion to approve the modified Standard, as amended, and Director Bruninghaus seconded. The motion was approved unanimously.

14 c. Standard 12 – Exterior Wall Attachments

The Committee asked Staff to make some additional changes to the Standard.

The Committee requested that a decision on this Standard be deferred until a later time.

14 d. Standard 13 – Fences, Wrought Iron

The Committee asked Staff to make some additional changes to the Standard.

Director Frankel made a motion to approve the modified Standard, as amended, and Director Bruninghaus seconded. The motion was approved unanimously.

Items for Future Agendas

Acoustical Solutions

Concluding Business:

15. Committee Member Comments

Chair Walsh thanked everyone for their patience during this process of going over the Standards.

- 16. Date of Next Regular Meeting and Bus Tour February 26, 2018
- 17. Adjourned at 12:25 p.m.

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Chair, Bill Walsh Kurt Wiemann, Staff Officer Eve Morton, Alterations Coordinator, 268-2565



STAFF REPORT

DATE:February 26, 2018FOR:Architectural Control and Standards CommitteeSUBJECT:Revision to Section 19 Balcony Modesty Panels

RECOMMENDATION

Staff recommends the Board approve the following revisions to Mutual Standard Section 19 Balcony Modesty Panels and a policy to assure uniformity to the Community.

BACKGROUND

The Architectural Controls and Standards Committee (ACSC) requested Staff to review and revise the current Alteration Standards for applicability, usefulness, and current technology.

There are currently 40 Alteration Standards available for Members to use to perform alterations to their manor. Many have not been reviewed or updated for years to reflect changes in technology, materials, and construction methods.

The Architectural Control and Standards Committee (ACSC) requested Staff to revise Mutual standard for Section 19 - Balcony Modesty Panels which was last revised April 2011, Resolution 03-11-50. Staff was also asked to draft a policy designed to promote uniformity within the Mutual regarding balcony railing policies.

DISCUSSION

The revisions to Mutual Standard - Section 19 Balcony Modesty Panels include revising the name to "Section 19 Balcony Railing Paneling" and will now require that new installations are limited to white vinyl lattice. All vinyl lattice installed must be manufactured by Veranda[®] or Dimensions[®]; these products are readily available at Home Depot and Lowe's respectively.

Additionally, Staff proposes a new policy regarding balcony panels and the paint program. As part of the prior-to-paint program, Members are currently required to remove their balcony paneling for the paint crews to complete their work. Once the painting crews are finished, Members are permitted to reinstall their balcony paneling. Metal paneling that is permanently attached to the railing is permitted to remain and is painted by Staff to match the building.

To promote uniformity throughout the community, Staff is recommending the Board approve a policy that when Members remove the paneling as part of the prior to paint program, upon completion of the painting, Members that would like to replace their panels would be required to replace their paneling with vinyl lattice. If the existing paneling is metal, permanently attached to the railing, and was painted by Staff in the Paint Program, it will be permitted to stay.

These revisions would continue to allow members to install privacy panels to their balcony railings, but will focus on maintaining uniformity throughout the community by permitting only vinyl lattice. All other railing types would be required to go through the variance process.

Third Laguna Hills Mutual Revised Mutual Standard Section 19 "Balcony Modesty Panels" 2/26/2018 Page 2

Prepared By:	Brett Crane, Alterations Supervisor
Reviewed By:	Kurt Wiemann, Permits, Inspections & Restoration Manager Eve Morton, Alterations Coordinator

ATTACHMENT(S)

Attachment 1 – Policy

Attachment 2 - Redline of Revised Mutual Standard 19 "Balcony Railing Paneling"



Attachment 2

Balcony Railing Paneling Policy

RESOLUTION 03-XX-XXX

WHEREAS, the installation of various types of materials for balcony railing panels on balconies has led to an inconsistent aesthetics within the Mutual; and

WHEREAS, the Board desires to provide a consistent appearance through the Mutual; and

WHEREAS, during the Prior to Paint Program members are required to remove balcony railing panels to allow Staff to paint the railings. Upon completion of painting, Members are permitted to replace the panels after painting.

NOW THEREFORE BE IT RESOLVED, March 20, 2018, the Board of Directors shall only allow the installation of balcony railing panels per Standard Section 19; and

RESOLVED FURTHER, when the Prior to Paint Program requires Members to remove the balcony railing panels from the balcony so the painting crews can complete their work; and

RESOLVED FURTHER, that when the member requests to replace the balcony railing panels that they conform with Standard Section 19 to maintain uniformity throughout the community; and

RESOLVED FURTHER, that when Members remove the paneling as part of the Prior to Paint Program, upon completion of the painting, Members that desire to replace their panels would be required to replace their paneling with vinyl lattice. If the existing paneling is metal, permanently attached to the railing, and painted by Staff in the Paint Program, it will be permitted to stay; and

RESOLVED FURTHER, that the officers and agents of this Corporation are hereby authorized on behalf of the Corporation to carry out the purpose of this resolution



SECTION 19 BALCONY RAILING PANELING JANUARY 1989 APRIL 1996, RESOLUTION M3-96-28 REVISED JANUARY 2007, RESOLUTION 03-07-01 REVISED APRIL 2011, RESOLUTION 03-11-50 GENERAL REQUIREMENTS REVISED APRIL 2011, RESOLUTION 03-11-49 <u>GENERAL REQUIREMENTS REMOVED JANUARY 2018, RESOLUTION 03-18-XX</u> <u>REVISED FEBRUARY_MARCH 2018, RESOLUTION 03-18-XX</u>

1.0 GENERAL REQUIREMENTS

1.0 GENERAL REQUIREMENTS

For General Requirements See Section 1 General Requirements for Alteration Standards

- 1.1 <u>PERMITS AND FEES:</u> A Mutual permit is required for all alterations to the building. A City of Laguna Woods permit may be required. All fees for both Mutual and City permits shall be paid for by the Member and/or his or her contractor. Member and/or his or her contractor must provide the Permits and Inspections office with City permit number(s) prior to beginning work.
- **1.2** <u>MEMBERS' RESPONSIBILITY:</u> The Member is solely responsible for the maintenance, repair, and/or removal of all alterations to the building.
- **1.3** <u>CODES AND REGULATIONS:</u> All work shall comply with all applicable local, state, and federal requirements including, but not limited to, the current edition of the National Electric Code (NEC).
- **1.4** <u>WORK HOURS:</u> No work shall commence prior to 7:00a.m. and no work shall be permitted after 6:00p.m. Monday through Friday. Work on Saturday shall be permitted from 9:00a.m 2:00p.m. for work which results in construction-related noise (e.g. cutting tile, hammering, use of power tools). For work that does not result in excessive noise, such as painting and carpet installation, permitted hours are 7:00a.m. 6:00p.m. No work whatsoever shall be permitted on Sunday.



- **1.5** <u>PLANS:</u> The Member applying for a permit shall provide to the Permits and Inspections office a detailed plan(s) for approval indicating all work to be done, i.e., size, location, description and specifications.
- 1.6 <u>DUMPSITES:</u> The premises shall be kept free of accumulation of waste materials and/or rubbish caused by construction work. The Member and/or his or her contractor is responsible for removal of debris and excess material and must leave work areas "BROOM CLEAN" daily. USE OF COMMUNITY DUMPSITES FOR CONSTRUCTION RELATED DUMPING IS NOT PERMITTED. Contractor's or Member's dumpsters, if required, must have location approved by the Permits and Inspections office.
- **1.7** <u>CONTRACTOR:</u> Installation must be performed by a California licensed contractor of the appropriate trade.
- **1.8** <u>CONTRACTOR'S CONDUCT:</u> Member's contractor's, their personnel, and sub-contractors shall refrain at all times from using profanity, abusive or loud language, and must wear shirts at all times. Radio, MP3, CD or cassette players are not permitted on the project site. Contractor personnel will, at all times, extend and exhibit a courteous demeanor to residents.

2.0 APPLICATIONS

- **2.1** All <u>balcony modesty railing</u> panels <u>will-shall</u> be attached directly to the railing. No panels shall be attached to the building, deck, or flooring.
- 2.2 Paneling height may be up to one foot lower than the top railing; and must reach fully to extend no further than the bottom of the railing. Paneling shall not extend to the balcony deck. Paneling will must cover the railing completely from side to side, and will shall not extend beyond any existing railing.
- **2.3** All paneling <u>will_shall</u> be rigid and easily removable.



2.4 Corrugated fiberglass, masonite, and other such less weather-proof items will not be permitted.

- 2.5 Paneling may be of white vinyl lattice<u>only as manufactured by</u> <u>Veranda[®] or Dimensions[®]; , or existing attached</u>_metal<u>panels that</u> that has no openings or gaps and is are painted to match the color of the wall to which the railing is attached<u>may remain</u>.
- 2.6 Paneling will shall be attached only to the inside portion of handrails.



STAFF REPORT

DATE:February 26, 2018FOR:Architectural Control and Standards CommitteeSUBJECT:Closets and Interior Partition Walls Policy

RECOMMENDATION

Approve a Resolution to introduce the Closets and Interior Partitions Policy.

BACKGROUND

The Architectural Controls and Standards Committee (ACSC) reviews numerous Variance Requests to relocate closets and small sections of walls to accommodate minor alterations. Staff has reviewed the history and typicality of the requests and developed an alternative to the lengthy Variance Request process.

DISCUSSION

Staff reviews numerous requests each year for minor alterations that are controlled by over-the-counter Mutual Consents, such as kitchen improvements and water heater relocations. When one of these alterations involves relocating a partition wall, because the existing Alteration Standards do not cover all possible scenarios, the alteration would be automatically reviewed as a variance. In an effort to reduce the number of Variance Requests and reduce the time for alteration approval, Staff has reviewed previous Variance Requests that include minor partition wall revisions.

After completing the review, staff has determined that developing an Alteration Standard that would be able to encompass all possible variations would be problematic. Consequently Staff has developed the Closets and Interior Partitions Policy that would give the discretion to approve minor alterations that include a minor wall revision at the Staff level.

The proposed policy would allow Staff to approve minor, non load-bearing wall relocations, such as those necessary for closets, kitchen partitions, and water heater closets, when reviewing Mutual Consent applications. The policy would restrict Staff from approving wall relocations that affect room usage, create new rooms, or affect load bearing walls. Those alterations would still be required to go through the variance process.

FINANCIAL ANALYSIS

None

Third Laguna Hills Mutual Closets and Interior Partition Walls Policy February 26, 2018

Prepared By:	Kurt Wiemann, Permits, Alterations and Restoration Manager
Reviewed By:	Eve Morton, Alterations Coordinator
Committee Routing:	Architectural Controls and Standards Committee

ATTACHMENT(S)

Attachment 1: Closets and Interior Partitions Policy

ATTACHMENT 1

Closets and Interior Partition Walls Policy

RESOLUTION 03-18-XXX

WHEREAS, the Architectural Control and Standards Committee directed Staff to create a policy pertaining to closets and interior partition walls for members who are proposing to repurpose or relocate a closet or partition wall within their Manor.

NOW THEREFORE BE IT RESOLVED, April 17, 2018, The Board of Directors adopts resolution 03-18-XXX, Closets and Interior Partition Walls Policy; and

RESOLVED FURTHER, architectural drawings shall be provided for approval to the Alterations Division Office for review and to meet the intent of this policy, for all non-load-bearing wall (partition wall) revisions including but not limited to closets or panel walls, prior to issuance of a Mutual Consent from the Alterations Department and before construction begins; and

RESOLVED FURTHER, Staff shall thoroughly review the submitted drawings; if Staff determines that the proposed alteration does not affect load bearing walls or alter the original purpose of the room(s), meets the intent of this policy, and conforms to all pertinent Alteration Policies, Staff may issue a Mutual Consent; and

RESOLVED FURTHER, if Staff determines that the proposed alteration does not meet the intent of this policy and the Member desires to pursue the proposed alteration, staff shall process the request as a Variance for review by the Architectural Controls and Standards Committee; and

RESOLVED FURTHER, all proposals of load-bearing wall revisions will require Board approval via the Variance process; and

RESOLVED FURTHER, any proposed wall revision that would create a new room or change the use of a room will require Board approval through the Variance process; and

RESOLVED FURTHER, that the officers and agents of this Corporation are hereby authorized on behalf of the Corporation to carry out the purpose of this resolution.



STAFF REPORT

DATE: February 26, 2018 FOR: Architectural Control and Standards Committee SUBJECT: Variance Request Mr. and Mrs. Richard and Heidi Penkava of 3191-D (La Reina, PL804RA) Replace Existing Enclosed Rear Patio with Room Addition

RECOMMENDATION

Staff recommends the Board approve the request for a room addition rear patio with the conditions as stated in Appendix A.

BACKGROUND

Mr. and Mrs. Penkava of 3191-D Via Buena Vista, a La Reina style manor, is requesting Board approval of a variance to construct a room addition on the same footprint as the existing enclosed rear patio (Attachment 1).

Unit 3191-D had a rear patio cover installed via Mutual Consent 953b in 1978. In 1993, via Mutual Consent 92732, a glass windscreen was installed. A replacement patio cover was installed via Mutual Consent 99922 in 1999.

The cost of the proposed alteration would be borne by the Member.

DISCUSSION

The original rear patio depicted on the condominium plan is 16 feet wide by 7 feet long. The existing patio measures 19 feet wide by 10 feet, 6 inches long, which is an increase of 87.5 square feet. There is no record of when the patio was extended. As mentioned above, a patio cover was installed in 1978. If the slab was extended at that time, it meets the criteria established in the Decision Tree. The records indicate that it was there when the existing glass windscreen was installed in 1993. If this variance is approved, a Common Area Agreement will be included in the Conditions of Approval.

The Penkavas' propose to demolish the existing windscreen enclosure and replace it with a room addition using wood frame construction with drywall and exterior stucco finish to match the existing building.

The room addition would have a new gable roof with a 4:12 pitch to match the existing roof. Asphalt shingles to match the existing roof material will be used. The new roof would be 12 feet in height where it intersects the existing roof. The ridgeline of the existing roof is 13 feet, 9 inches.

The east elevation of the room addition will have two sliding windows measuring 6 feet wide by 3 feet tall. The south elevation will have a 4 foot tall by 3 foot wide window. All windows will match the existing header height of 6 feet, 8 inches and will be required to meet the applicable Mutual Standards.

Acoustic considerations for common walls have been added to the conditions of approval (Appendix A).

A City permit that would ensure Title 24 is met will be required for Mutual approval.

Staff determined there would be no impairment of the structural integrity or mechanical systems of the surrounding buildings or lessening of its support.

A City of Laguna Woods building permit final would verify compliance with all applicable building codes to include light, ventilation, and egress.

There were no previous examples of room additions on rear patios for La Reina style units on files from previous Variances.

A Neighbor Awareness Notice was sent to units 3191-C, 3192-A, 3192-B and 3193-A on February 13, 2018 due to sharing common walls or being potentially affected during construction.

At the time of preparing this report, there are no open Mutual Consents for Manor 3191-D.

All future costs and maintenance associated with the subject alterations are the responsibility of the Mutual member(s) at 3191-D.

Prepared By: Gavin Fogg, Alterations Inspector II

Reviewed By: Kurt Wiemann, Permits, Inspections & Restoration Manager

ATTACHMENT(S)

- Appendix A: Conditions of Approval
- Attachment 1: Site Plan
- Attachment 2: Variance Request
- Attachment 3: Photos
- Attachment 3: Map

APPENDIX A

CONDITIONS OF APPROVAL

Conditions of approval would be as follows:

1. A Mutual Consent for Manor Alterations has been granted at **3191-D** for **Rear Patio Room Addition**, subject to the attached plans stamped approved and is subject to the final inspection by the Division. Any variations to the approved attached plans are not allowed and could result in a stop work notice and/or severe fines to the Member.

2. Member Owner(s) of the Property must sign and submit to the Mutual, c/o VMS, Inc., at the Division office located in the Laguna Woods Village Community Center, an executed and notarized "Recordable Common Area Agreement" for a proposed improvement that would utilize any portion of the Mutual's Common Area. Prior to the issuance of a Mutual Consent for Manor Alterations, that "Recordable Common Area Agreement" must be filed with the Orange County Clerk/Recorder.

3. A City of Laguna Woods permit is required, which may include the requirement to obtain clearance from the South Coast Air Quality Management District (Asbestos Hot Line at (909) 396-2336). Prior to the issuance of a Mutual Consent for Manor Alterations, the appropriate City of Laguna Woods permit number(s) must be submitted to the Division office located in the Laguna Woods Village Community Center. The City permit must be finalized within the prescribed timeframe, and a copy of the final permit must be submitted to the Division within two weeks.

4. Prior to the issuance of a Mutual Consent for Manor Alterations, a complete set of unit specific plans prepared by a licensed architect or structural engineer depicting the proposed improvement must be submitted to the Division office located in the Laguna Woods Village Community Center. The plans must depict any required structural modifications ensuring the structural integrity of the building is maintained upon completion of the proposed improvement.

5. Prior to the issuance of a Mutual Consent for Manor Alterations, if required, a Mutual Roof Alteration Notification ("Tie-In Form") must be submitted to the Division. All roof tie-ins must be performed by a C-39 Licensed Contractor. The Member Owner may hire a C-39 Licensed Contractor of his/her own choice to perform roof tie-ins for the installation of solar panels on all roof types except PVC Cool Roofs. For PVC Cool Roofs, regardless of the roof type, all tie-ins must be performed by the Mutual's roofing contractor at the Member Owner's expense. All tie-ins may only be made to sound structural elements. Existing structural elements proposed to be tied to, which exhibit signs of dry rot or other structural defects, must first be replaced or repaired at the Member Owner's expense during construction of the improvement.

6. Prior to the issuance of a Mutual Consent for Manor Alterations, the Member Owner shall request a Landscape Department inspection in order to assure all landscape, irrigation, and drainage modifications associated with the improvements are identified and completed by the Landscape Department at the expense of the Member Owner. All gutter drainage shall be directed away from structures, free standing walls, foundations, and pedestrian walkways.

7. Prior to the issuance of a Mutual Consent for Manor Alterations, any altered exterior

surface should match the Building color; vinyl fence/gate will be either white or taupe, tubular steel or wrought iron fence/gate will be black or white; the approved colors and materials are identified as "Third Laguna Hill Mutual Color Selections" at Resident Services, located at the Community Center first floor.

8. This approval does not change the number of bedrooms or the original maximum occupants permitted in the Manor.

9. Prior to the Issuance of a Mutual Consent for Alterations, acoustical impacts shall be considered and will require noise reducing material such as sound dampening drywall on common walls of the alteration (such as QuietRock® drywall panels or similar approved products).

10. No improvement shall be installed, constructed, modified or altered at Manor 3191-D, ("Property") within the Third Laguna Hills Mutual ("Mutual") unless and until a Mutual Consent for Manor Alterations application for the improvement has been made to, and approved, in writing, by, the Village Management Services, Inc. ("VMS, Inc."), Manor Alterations Division ("Division"), or, in the event of a Variance from the Mutual's Alteration Standards, the Architectural Control and Standards Committee ("ACSC"). In the event written permission is given for the installation, construction, modification or alteration of any improvement(s) upon the Property, the Member Owner or Owners ("Member Owner") agrees to comply with the Mutual's Governing Documents and any specific terms or conditions imposed, and that the installation, construction, modification or alteration shall be in strict compliance with the terms of the approval.

11. Member Owner hereby consents to and grants to the Mutual and the Division, and their representatives, a right of entry upon the Property at any time to be used to inspect the Property and the improvements thereon and for the Mutual and the Division, and their representatives and contractors to remedy any violation upon the Property, including, but not limited to, removing trash, removing any improvement installed without approval or modifying an improvement to bring the same into compliance with the terms of the approval.

12. All costs for maintenance, repair, renovation, replacement or removal of the improvement, present and future, are the responsibility of the Property's Member Owner at 3191-D and all future Mutual members at 3191-D.

13. Member Owner shall be responsible for all activity by contractors, subcontractors, material suppliers and their employees and agents and any others who perform work on the Property, including any violation of the Mutual's Governing Documents, including, but not limited to, traffic and parking violations, maintenance of a clean job site at all times, and use of Mutual property for storage of equipment or materials without prior approval. Member Owner acknowledges and agrees that all such persons are his/her invitees. Member Owner shall be responsible for informing all his/her invitees of the Mutual's Rules and Regulations.

14. Member Owner shall be liable for any violation of the Mutual's Governing Documents by any invitee, including any fine, assessment, traffic or other charge levied in connection therewith.

15. Member is responsible for following the gate clearance process (http://www.lagunawoodsvillage.com/residents/resident-services and click on documents and Business Pass Application Instructions) in place to admit contractors and other invites.

16. Member Owner's contractors and other invitees shall have business signage on vehicles and travel to and from the job site by the most direct route available and are not authorized to use Mutual recreational facilities or other amenities while they are in the Village for performance of work in connection with the Property.

17. Parking of contractors or other invitees' vehicles is prohibited in covered resident parking, open resident spaces, handicapped spaces or fire lanes. Contractors or other invitees must park on the street. To the extent possible contractors' or other invitees' vehicles should be limited in number.

18. Prior to the Issuance of a Mutual Consent for Unit Alterations, the Member shall post a Conformance Deposit in the amount of \$250 for all improvements exceeding a total of \$500.The Conformance Deposit will be held until Final City Building Permit Issuance if required, to assure no damages to Mutual property occurs during construction, including, but not limited to, internet/TV, landscaping, or exterior walls/roof.

19. The Conformance Deposit shall be held by the Mutual and applied, at the Mutual's sole discretion, to any fine levied against the Member Owner or the Property, to cover and/or recoup any costs whatsoever, including, but not be limited to, administrative and legal costs, incurred by the Mutual or VMS, Inc., in connection with the Property, or to any unpaid charges or assessments on the Mutual's account for the Property. For example, the Mutual could apply all or a portion of the Conformance Deposit to cover the following: fines levied against any invitee of Member Owner; fines levied for construction violations; costs incurred by the Mutual in repairing damage to Mutual property caused by Member Owner's contractor or other invitee; costs incurred by the Mutual in curing a violation on the Property; costs incurred in removing or altering an improvement upon the Property; or to an unpaid assessment, special assessment, late charge, interest or collection costs posted to the Mutual's account for the Property. The foregoing list is illustrative only and in no way represents the only situations where the Mutual could apply all or a portion of the Conformance Deposit.

20. If at any time the amount of the Conformance Deposit falls below 3/4ths of the amount originally required to be posted, Member Owner agrees to immediately deposit additional sums with the Mutual in an amount sufficient to return the Conformance Deposit to the originally required level. Until the Conformance Deposit is so replenished, an automatic stop work order shall be in effect.

21. Any remaining Conformance Deposit is refundable if the Member Owner notifies the Division, in writing, that the improvement(s) for which the Conformance Deposit was posted have been completed in accordance with the approval, and the Division agrees with the same. The Mutual will mail the unused portion of the Conformance Deposit, if any, to the Member Owner's address of record with the Mutual. Under no circumstances shall Member Owner be entitled to any interest on any portion of the Conformance Deposit. If no written request for return of a Conformance Deposit is made by Member Owner within two years from the date when the Conformance Deposit is posted with the Mutual, the Conformance Deposit will be deemed forfeited to the Mutual.

22. All improvements must be installed in accordance with the California State Building Code, and the published Mutual Architectural Alterations Standards. See http://www.lagunawoodsvillage.com.

23. During construction, work hours established by the Mutual and the Noise Ordinance set forth in the City of Laguna Woods Municipal Code must be adhered to at all times.

24. During construction, both the Mutual Consent for Manor Alterations and the City Building Permit must be on display for public view at all times in a location approved by the Division.

25. It is mandatory that no waste or materials associated with the construction be dumped in the Village trash bins; such waste or materials associated with the construction must be disposed of offsite by the contractor.

26. The Mutual Consent for Manor Alterations expires six months after the date of approval, unless an application is submitted with fees and approved by the Division for an extension. Only one extension for a maximum of an additional six months may be granted.

27. Violations of the forgoing conditions or the Mutual's Governing Documents (See http://www.lagunawoodsvillage.com), including, but not limited to, work outside the approved plans, excessive noise, illegal dumping, or working after hours, will result in disciplinary action, which could result in a stop work notice, loss of privileges and/or severe fines to the Owner Member. Such fines left unpaid will result in forfeiture of a portion or all of the Conformance Deposit required above or other legal remedy.

28. Mutual member shall indemnify, defend and hold harmless Third and its officers, directors, committee members and agents from and against any and all claims, demands, costs, fines, judgments, settlements and any other costs, expenses, amounts and liabilities arising from Mutual member's improvements and installation, construction, design and maintenance of same.

APPENDIX A

CONDITIONS OF APPROVAL

Conditions of approval would be as follows:

1. A Mutual Consent for Manor Alterations has been granted at **3191-D** for **Rear Patio Room Addition**, subject to the attached plans stamped approved and is subject to the final inspection by the Division. Any variations to the approved attached plans are not allowed and could result in a stop work notice and/or severe fines to the Member.

2. Member Owner(s) of the Property must sign and submit to the Mutual, c/o VMS, Inc., at the Division office located in the Laguna Woods Village Community Center, an executed and notarized "Recordable Common Area Agreement" for a proposed improvement that would utilize any portion of the Mutual's Common Area. Prior to the issuance of a Mutual Consent for Manor Alterations, that "Recordable Common Area Agreement" must be filed with the Orange County Clerk/Recorder.

3. A City of Laguna Woods permit is required, which may include the requirement to obtain clearance from the South Coast Air Quality Management District (Asbestos Hot Line at (909) 396-2336). Prior to the issuance of a Mutual Consent for Manor Alterations, the appropriate City of Laguna Woods permit number(s) must be submitted to the Division office located in the Laguna Woods Village Community Center. The City permit must be finalized within the prescribed timeframe, and a copy of the final permit must be submitted to the Division within two weeks.

4. Prior to the issuance of a Mutual Consent for Manor Alterations, a complete set of unit specific plans prepared by a licensed architect or structural engineer depicting the proposed improvement must be submitted to the Division office located in the Laguna Woods Village Community Center. The plans must depict any required structural modifications ensuring the structural integrity of the building is maintained upon completion of the proposed improvement.

5. Prior to the issuance of a Mutual Consent for Manor Alterations, if required, a Mutual Roof Alteration Notification ("Tie-In Form") must be submitted to the Division. All roof tie-ins must be performed by a C-39 Licensed Contractor. The Member Owner may hire a C-39 Licensed Contractor of his/her own choice to perform roof tie-ins for the installation of solar panels on all roof types except PVC Cool Roofs. For PVC Cool Roofs, regardless of the roof type, all tie-ins must be performed by the Mutual's roofing contractor at the Member Owner's expense. All tie-ins may only be made to sound structural elements. Existing structural elements proposed to be tied to, which exhibit signs of dry rot or other structural defects, must first be replaced or repaired at the Member Owner's expense during construction of the improvement.

6. Prior to the issuance of a Mutual Consent for Manor Alterations, the Member Owner shall request a Landscape Department inspection in order to assure all landscape, irrigation, and drainage modifications associated with the improvements are identified and completed by the Landscape Department at the expense of the Member Owner. All gutter

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drainage shall be directed away from structures, free standing walls, foundations, and pedestrian walkways.

7. Prior to the issuance of a Mutual Consent for Manor Alterations, any altered exterior surface should match the Building color; vinyl fence/gate will be either white or taupe, tubular steel or wrought iron fence/gate will be black or white; the approved colors and materials are identified as "Third Laguna Hill Mutual Color Selections" at Resident Services, located at the Community Center first floor.

8. This approval does not change the number of bedrooms or the original maximum occupants permitted in the Manor.

9. Prior to the Issuance of a Mutual Consent for Alterations, acoustical impacts shall be considered and will require noise reducing material such as sound dampening drywall on common walls of the alteration (such as QuietRock® drywall panels or similar approved products).

10. No improvement shall be installed, constructed, modified or altered at Manor 3191-D, ("Property") within the Third Laguna Hills Mutual ("Mutual") unless and until a Mutual Consent for Manor Alterations application for the improvement has been made to, and approved, in writing, by, the Village Management Services, Inc. ("VMS, Inc."), Manor Alterations Division ("Division"), or, in the event of a Variance from the Mutual's Alteration Standards, the Architectural Control and Standards Committee ("ACSC"). In the event written permission is given for the installation, construction, modification or alteration of any improvement(s) upon the Property, the Member Owner or Owners ("Member Owner") agrees to comply with the Mutual's Governing Documents and any specific terms or conditions imposed, and that the installation, construction, modification or alteration shall be in strict compliance with the terms of the approval.

11. Member Owner hereby consents to and grants to the Mutual and the Division, and their representatives, a right of entry upon the Property at any time to be used to inspect the Property and the improvements thereon and for the Mutual and the Division, and their representatives and contractors to remedy any violation upon the Property, including, but not limited to, removing trash, removing any improvement installed without approval or modifying an improvement to bring the same into compliance with the terms of the approval.

12. All costs for maintenance, repair, renovation, replacement or removal of the improvement, present and future, are the responsibility of the Property's Member Owner at 3191-D and all future Mutual members at 3191-D.

13. Member Owner shall be responsible for all activity by contractors, subcontractors, material suppliers and their employees and agents and any others who perform work on the Property, including any violation of the Mutual's Governing Documents, including, but not limited to, traffic and parking violations, maintenance of a clean job site at all times, and use of Mutual property for storage of equipment or materials without prior approval. Member Owner acknowledges and agrees that all such persons are his/her invitees. Member Owner shall be responsible for informing all his/her invitees of the Mutual's Rules and Regulations.

14. Member Owner shall be liable for any violation of the Mutual's Governing Documents by any invitee, including any fine, assessment, traffic or other charge levied in connection therewith.

15. Member is responsible for following the gate clearance process (http://www.lagunawoodsvillage.com/residents/resident-services and click on documents and Business Pass Application Instructions) in place to admit contractors and other invites.

16. Member Owner's contractors and other invitees shall have business signage on vehicles and travel to and from the job site by the most direct route available and are not authorized to use Mutual recreational facilities or other amenities while they are in the Village for performance of work in connection with the Property.

17. Parking of contractors or other invitees' vehicles is prohibited in covered resident parking, open resident spaces, handicapped spaces or fire lanes. Contractors or other invitees must park on the street. To the extent possible contractors' or other invitees' vehicles should be limited in number.

18. Prior to the Issuance of a Mutual Consent for Unit Alterations, the Member shall post a Conformance Deposit in the amount of \$250 for all improvements exceeding a total of \$500.The Conformance Deposit will be held until Final City Building Permit Issuance if required, to assure no damages to Mutual property occurs during construction, including, but not limited to, internet/TV, landscaping, or exterior walls/roof.

19. The Conformance Deposit shall be held by the Mutual and applied, at the Mutual's sole discretion, to any fine levied against the Member Owner or the Property, to cover and/or recoup any costs whatsoever, including, but not be limited to, administrative and legal costs, incurred by the Mutual or VMS, Inc., in connection with the Property, or to any unpaid charges or assessments on the Mutual's account for the Property. For example, the Mutual could apply all or a portion of the Conformance Deposit to cover the following: fines levied against any invitee of Member Owner; fines levied for construction violations; costs incurred by the Mutual in repairing damage to Mutual property caused by Member Owner's contractor or other invitee; costs incurred by the Mutual in curing a violation on the Property; costs incurred in removing or altering an improvement upon the Property; or to an unpaid assessment, special assessment, late charge, interest or collection costs posted to the Mutual's account for the Property. The foregoing list is illustrative only and in no way represents the only situations where the Mutual could apply all or a portion of the Conformance Deposit.

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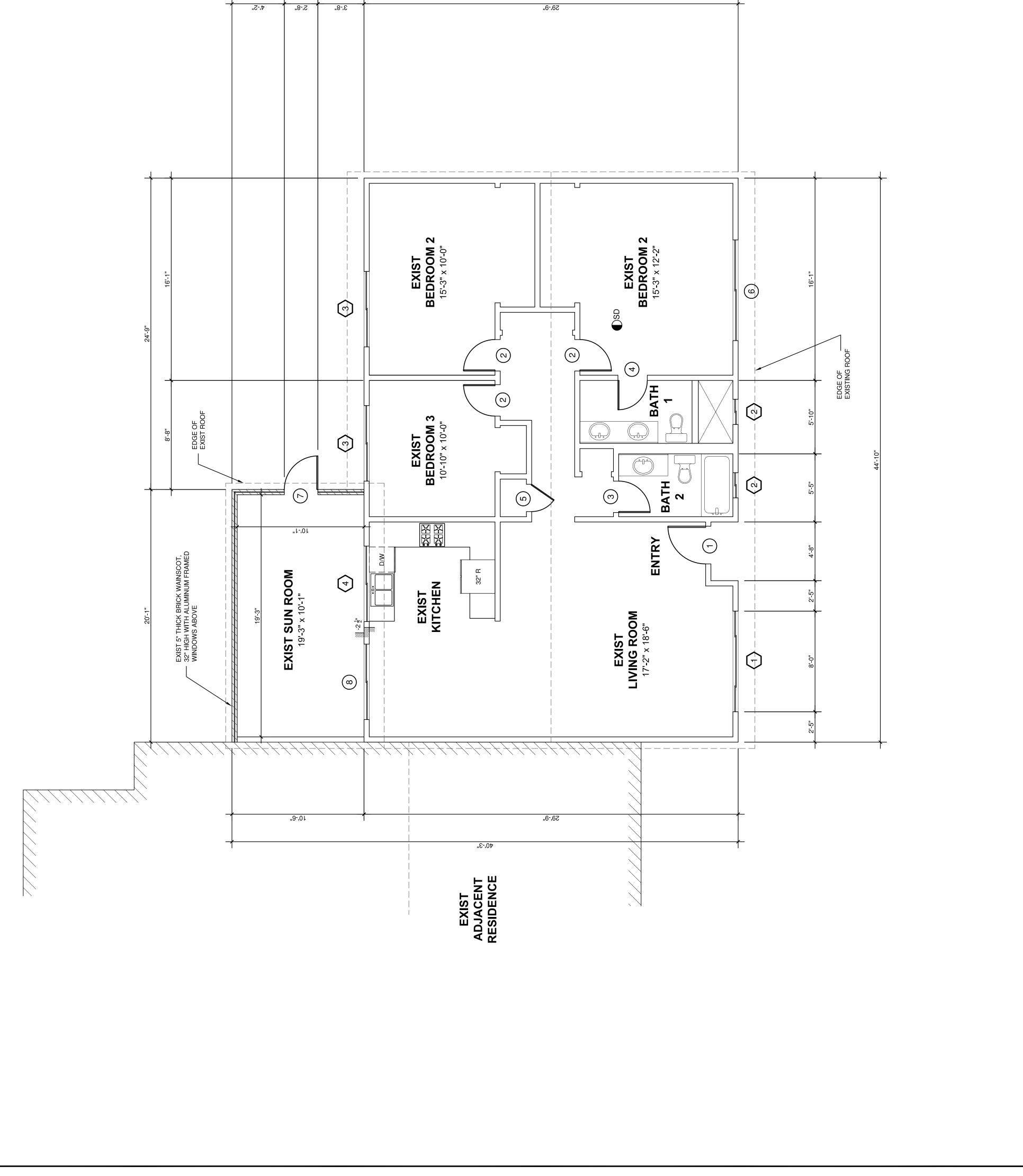
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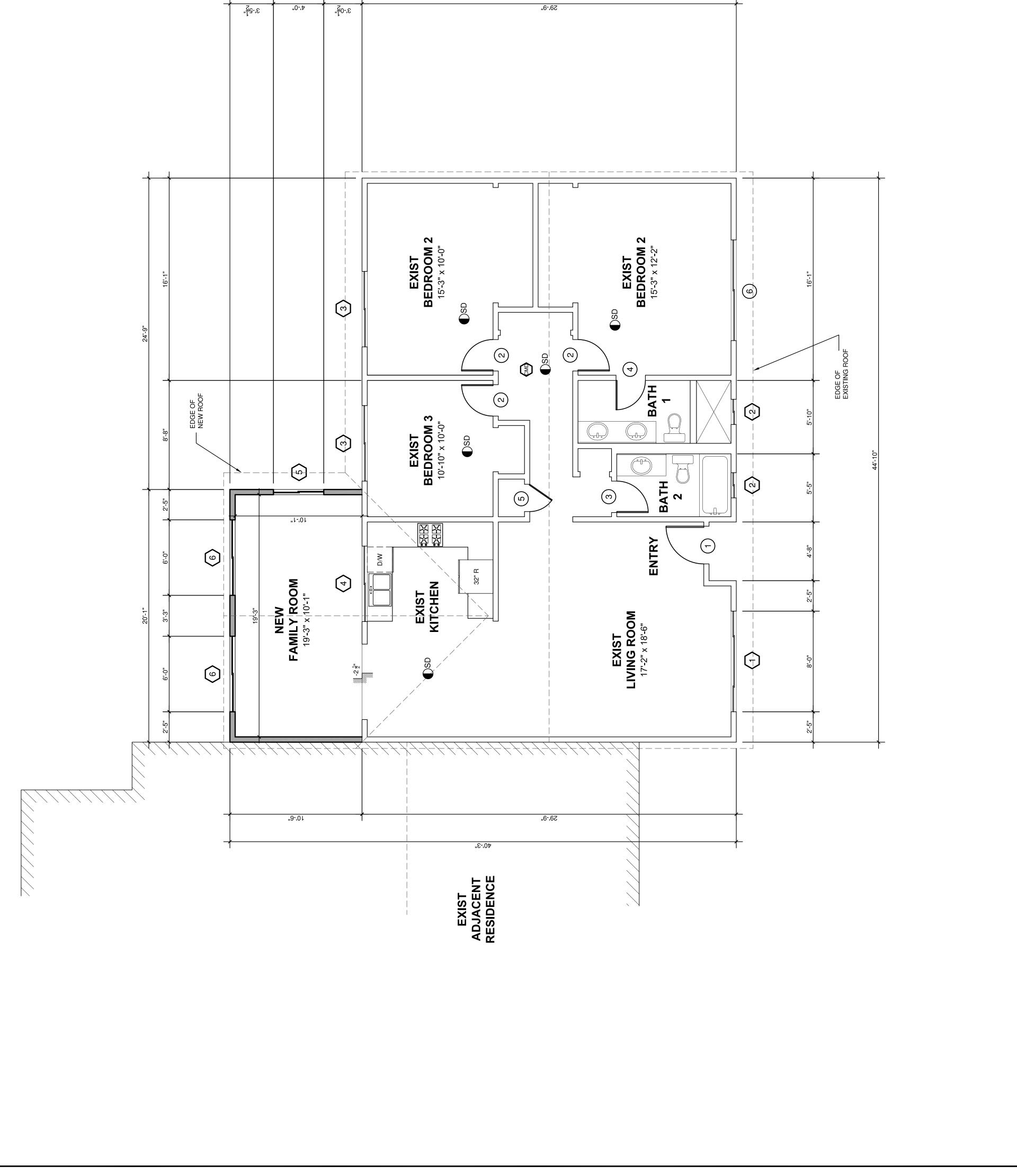
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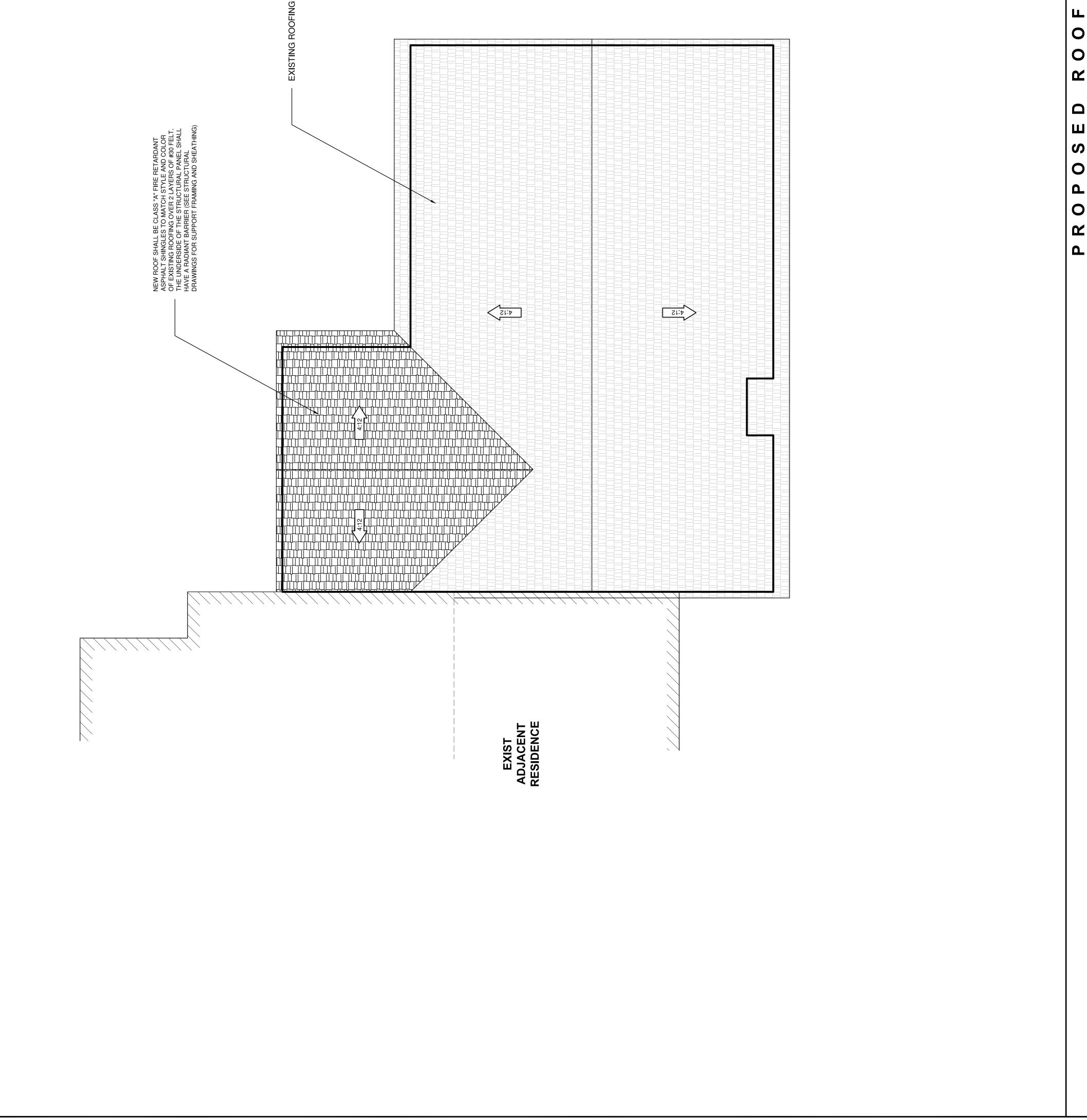
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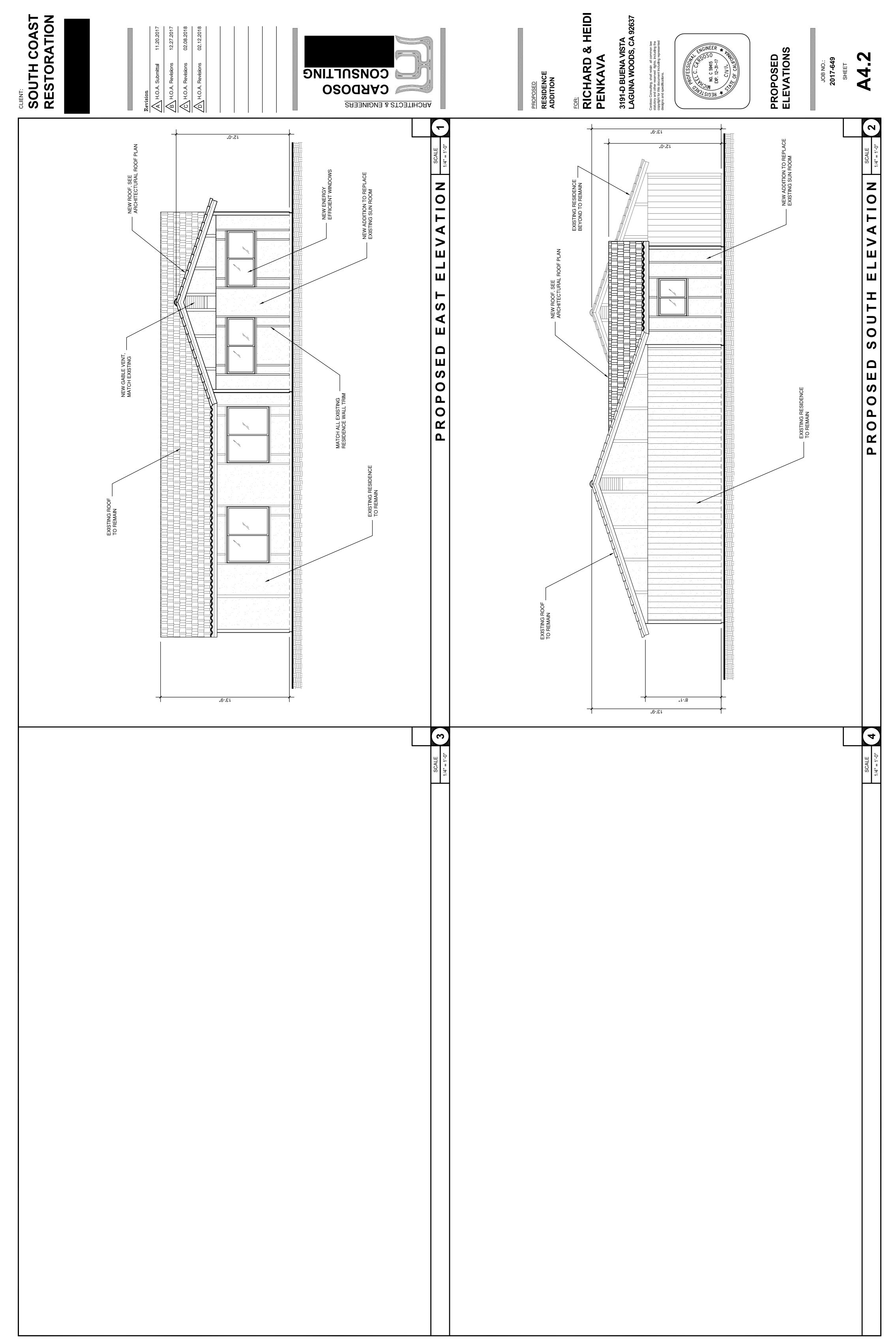
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	 IF AN ELECTRICAL PLAN IS PROVIDED, THE SWITCH LOCATIONS ARE ONLY A SUGGESTION AND THE CONTRACTOR SHALL PRESENT ALL THE SWITCH LOCATIONS TO THE HOMEOWNER FOR FINAL LOCATION. CONTRACTOR TO COORDINATE WITH CLIENT FOR ALL FINAL FLOOR FINISHES, WALL FINISHES, LIGHTING FIXTURES, RESTROOM CABINETS, RESTROOM COUNTERS, SHOWER FIXTURES, SHOWER TILE AND TYPE OF SHOWER GLASS, ETC. CONTRACTOR SHALL VERIFY WITH HOMEOWNER ON ALL THE FINAL WINDOW SIZES, STVLE, COLOR AND TYPE, CONTRACTOR SHALL AT ALL TIMES MATCH THE NEW 	RATIC
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		PROPOSED RESIDENCE ADDITION
		FOR: RICHARD & HEIDI PENKAVA
		3191-D BUENA VISTA LAGUNA WOODS, CA 92637
		Cardoso Consulting, shall retain all common law statutory and other reserved rights, including the copyright for this document including represented designs and specifications.
		PROFESSION PROFESSION NO. C 59415 OC MIC ERD 12-31-17 C/V 11 ERD 12-31-17 C/V 12-31
		EXISTING
		ROOF PLAN
		JOB NO.: 2017-649 SHEET
PLAN SCALE 1.0"		A2.2





Attachment 2 Laguna Woods Village	ШЦ	MANOR # 3191-D
	nce Request Form	SA 21214137
Model: LA REINA	Plan: 43	Date: $7 \cdot 9 \cdot 17$
Member Name:	Signature	
HEID; & RICHORD PONKINA	. Pouf	9
Phone:	Email:	
Contractor Name/Co:	Phone:	Email:
South LOAST RESTORATION	/	
Description of Proposed Variance Requ	uest ONLY:	
POOM ADDITION		SEMITTED
SUN ROOM		
Dimensions of Proposed Variance Alte	rations ONLY:	
	OR OFFICE USE ONLY ECEIVED: 01/03/18 Check	* MUR107956494789 BY: Michael Cardos
Alteration Variance Request	Complete Submittal C	ut Off Date: 1/25/18
Check Items Received:	Meetings Scheduled:	
Drawing of Existing Floor Plan		
The second se	Third AC&S Committee (TAC	sc): 2/2/0/18
Drawing of Proposed Variance		csc): <u>2/2/0/18</u>
	United M&C Committee:	sc): <u>2 20 18</u>
Drawing of Proposed Variance		8
 Drawing of Proposed Variance Dimensions of Proposed Variance 	United M&C Committee: Board Meeting:	SC): <u>22618</u>

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Attachment 3:

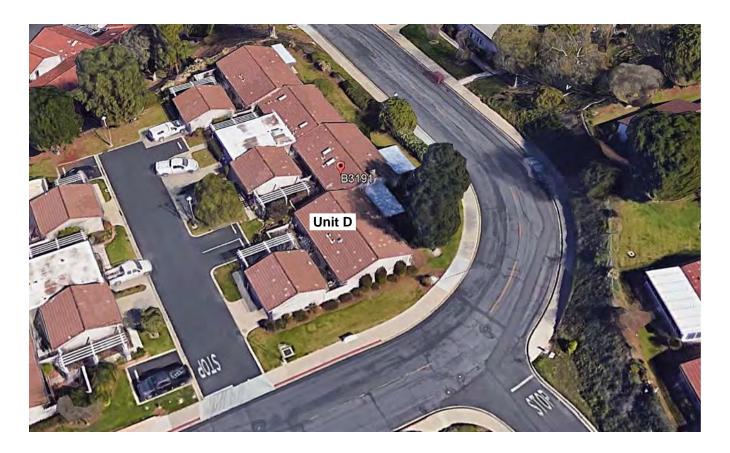








Attachment: 4





STAFF REPORT

DATE: February 26, 2018 FOR: Architectural Control and Standards Committee SUBJECT: Variance Request Mr. Chien Wang of 3238-B (La Reina, SM903B) Room Addition on Front Patio

RECOMMENDATION

Staff recommends the Board approve the request for a room addition with a new bathroom on front patio with the conditions as stated in Appendix A.

BACKGROUND

Mr. Wang of 3238-B San Amadeo, a La Reina style manor, is requesting Board approval of a variance to construct a room addition on the same footprint as the existing covered front patio (Attachment 1).

The front patio shown on the condominium plan is designated as Exclusive Use Common Area.

There is an Architectural Standard plan (Plan #300) for a room addition on the front patio of this style of unit; however the plan does not include a bathroom within the room addition which, per the Decision Tree, requires a Variance.

The cost of the proposed alteration would be borne by the Member.

DISCUSSION

Mr. Wang proposes to enclose an area measuring 15 feet, 10 inches wide by 10 feet, 2 inches long on the front patio using wood frame and stucco to match the existing building exterior in order to add a bedroom extension to bedroom one with an en suite bathroom.

As part of a unit remodel that involves demolishing the existing en suite bathroom to Bedroom One and moving the bedroom into that area, Mr. Wang proposes to utilize the room addition to extend the relocated Bedroom One and provide an en suite bathroom that shares a common wall with Unit C.

The new bedroom extension would have both a sliding glass door which would measure 5 feet wide by 6 feet, 8 inches tall and a single hung, 2 feet, 6 inches wide by 4 feet tall window on the left elevation.

A new 3 feet wide by 4 feet tall window will be installed on the relocated bedroom wall to provide for egress requirements.

The roof plans show a new built-up flat roof will be installed with a 3/8:12 pitch for drainage.

Plumbing plans have been provided showing the new bathroom areas will tie into a new 3 inch sewer line before tying into the existing line. A City permit will verify building codes are met.

Acoustic considerations have been made by installing a STC 50 rated wall where the new bathroom abuts the neighboring unit.

The proposed roof would consist of a new built-up flat roof (3/8:12 pitch) and would be constructed to match the existing roof in materials and appearance.

A City permit that would ensure Title 24 is met will be required for Mutual approval.

Staff determined there would be no impairment of the structural integrity or mechanical systems of the surrounding buildings or lessening of its support.

A City of Laguna Woods building permit final would verify compliance with all applicable building codes to include light, ventilation, and egress.

Due to the La Reina floor plans having an Architectural Standard for a room addition on the front patio, there were no previous Variances on file for a similar alteration.

A Neighbor Awareness Notice was sent to units 3238-A and 3238-C on January 30, 2018 due to sharing common walls or being potentially affected during construction.

At the time of preparing this report, there are no open Mutual Consents for Manor 3238-B.

All future costs and maintenance associated with the subject alterations are the responsibility of the Mutual member(s) at 3238-B.

Prepared By:	Gavin Fogg, Alterations Inspector II
Reviewed By:	Kurt Wiemann, Permits, Inspections & Restoration Manager

ATTACHMENT(S)

Appendix A:Conditions of ApprovalAttachment 1:Site PlanAttachment 2:Variance RequestAttachment 3:PhotosAttachment 3:Map

APPENDIX A

CONDITIONS OF APPROVAL

Conditions of approval would be as follows:

1. No improvement shall be installed, constructed, modified or altered at Manor **3238-B**, ("Property") within the Third Laguna Hills Mutual ("Mutual") unless and until a Mutual Consent for Manor Alterations application for the improvement has been made to, and approved, in writing, by, the Village Management Services, Inc. ("VMS, Inc."), Manor Alterations Division ("Division"), or, in the event of a Variance from the Mutual's Alteration Standards, the Architectural Control and Standards Committee ("ACSC"). In the event written permission is given for the installation, construction, modification or alteration of any improvement(s) upon the Property, the Member Owner or Owners ("Member Owner") agrees to comply with the Mutual's Governing Documents and any specific terms or conditions imposed, and that the installation, construction, modification or alteration shall be in strict compliance with the terms of the approval.

2. A Mutual Consent for Manor Alterations has been granted at **3238-B** for **Room Addition on Front Patio**, subject to the attached plans stamped approved and is subject to the final inspection by the Division. Any variations to the approved attached plans are not allowed and could result in a stop work notice and/or severe fines to the Member.

3. Member Owner hereby consents to and grants to the Mutual and the Division, and their representatives, a right of entry upon the Property at any time to be used to inspect the Property and the improvements thereon and for the Mutual and the Division, and their representatives and contractors to remedy any violation upon the Property, including, but not limited to, removing trash, removing any improvement installed without approval or modifying an improvement to bring the same into compliance with the terms of the approval.

4. All costs for maintenance, repair, renovation, replacement or removal of the improvement, present and future, are the responsibility of the Property's Member Owner at 3238-B and all future Mutual members at 3238-B.

5. Member Owner shall be responsible for all activity by contractors, subcontractors, material suppliers and their employees and agents and any others who perform work on the Property, including any violation of the Mutual's Governing Documents, including, but not limited to, traffic and parking violations, maintenance of a clean job site at all times, and use of Mutual property for storage of equipment or materials without prior approval. Member Owner acknowledges and agrees that all such persons are his/her invitees. Member Owner shall be responsible for informing all his/her invitees of the Mutual's Rules and Regulations.

6. Member Owner shall be liable for any violation of the Mutual's Governing Documents by any invitee, including any fine, assessment, traffic or other charge levied in connection therewith.

7. Member is responsible for following the gate clearance process (<u>http://www.lagunawoodsvillage.com/residents/resident-services</u> and click on documents and Business Pass Application Instructions) in place to admit contractors and other invites.

8. Member Owner's contractors and other invitees shall have business signage on Agenda Item # 11 Page 3 of 12

vehicles and travel to and from the job site by the most direct route available and are not authorized to use Mutual recreational facilities or other amenities while they are in the Village for performance of work in connection with the Property.

9. Parking of contractors or other invitees' vehicles is prohibited in covered resident parking, open resident spaces, handicapped spaces or fire lanes. Contractors or other invitees must park on the street. To the extent possible contractors' or other invitees' vehicles should be limited in number.

10. Member Owner(s) of the Property must sign and submit to the Mutual, c/o VMS, Inc., at the Division office located in the Laguna Woods Village Community Center, an executed and notarized "Recordable Common Area Agreement" for a proposed improvement that would utilize any portion of the Mutual's Common Area. Prior to the issuance of a Mutual Consent for Manor Alterations, that "Recordable Common Area Agreement" must be filed with the Orange County Clerk/Recorder.

11. A City of Laguna Woods permit is required, which may include the requirement to obtain clearance from the South Coast Air Quality Management District (Asbestos Hot Line at (909) 396-2336). Prior to the issuance of a Mutual Consent for Manor Alterations, the appropriate City of Laguna Woods permit number(s) must be submitted to the Division office located in the Laguna Woods Village Community Center. The City permit must be finalized within the prescribed timeframe, and a copy of the final permit must be submitted to the Division within two weeks.

12. Prior to the issuance of a Mutual Consent for Manor Alterations, a complete set of unit specific plans prepared by a licensed architect or structural engineer depicting the proposed improvement must be submitted to the Division office located in the Laguna Woods Village Community Center. The plans must depict any required structural modifications ensuring the structural integrity of the building is maintained upon completion of the proposed improvement.

13. Prior to the Issuance of a Mutual Consent for Manor Alterations, the Member Owner must have conducted an inspection of the waste lines, by a VMS Plumber, to assure no repairs are needed. The inspection will be a chargeable service to the Member Owner. Inspection appointments are to be made with Resident Services, by authorized persons only. Findings from the video inspection will be recorded on the chargeable service ticket for Manor Alterations staff to review.

14. Prior to the issuance of a Mutual Consent for Manor Alterations, if required, a Mutual Roof Alteration Notification ("Tie-In Form") must be submitted to the Division. All roof tie-ins must be performed by a C-39 Licensed Contractor. The Member Owner may hire a C-39 Licensed Contractor of his/her own choice to perform roof tie-ins for the installation of solar panels on all roof types except PVC Cool Roofs. For PVC Cool Roofs, regardless of the roof type, all tie-ins must be performed by the Mutual's roofing contractor at the Member Owner's expense. All tie-ins may only be made to sound structural elements. Existing structural elements proposed to be tied to, which exhibit signs of dry rot or other structural defects, must first be replaced or repaired at the Member Owner's expense during construction of the improvement.

15. Prior to the issuance of a Mutual Consent for Manor Alternations, the Member Owner shall request a Broadband infrastructure inspection to assure that Mutual property is appropriately identified in order to be addressed during construction.

16. Prior to the issuance of a Mutual Consent for Manor Alterations, any altered exterior surface should match the Building color; vinyl fence/gate will be either white or taupe, tubular steel or wrought iron fence/gate will be black or white; the approved colors and materials are identified as "Third Laguna Hill Mutual Color Selections" at Resident Services, located at the Community Center first floor.

17. Prior to the Issuance of a Mutual Consent for Unit Alterations, the Member shall post a Conformance Deposit in the amount of \$250 for all improvements exceeding a total of \$500. The Conformance Deposit will be held until Final City Building Permit Issuance if required, to assure no damages to Mutual property occurs during construction, including, but not limited to, internet/TV, landscaping, or exterior walls/roof.

18. The Conformance Deposit shall be held by the Mutual and applied, at the Mutual's sole discretion, to any fine levied against the Member Owner or the Property, to cover and/or recoup any costs whatsoever, including, but not be limited to, administrative and legal costs, incurred by the Mutual or VMS, Inc., in connection with the Property, or to any unpaid charges or assessments on the Mutual's account for the Property. For example, the Mutual could apply all or a portion of the Conformance Deposit to cover the following: fines levied against any invitee of Member Owner; fines levied for construction violations; costs incurred by the Mutual in repairing damage to Mutual property caused by Member Owner's contractor or other invitee; costs incurred by the Mutual in curing a violation on the Property; costs incurred in removing or altering an improvement upon the Property; or to an unpaid assessment, special assessment, late charge, interest or collection costs posted to the Mutual's account for the Property. The foregoing list is illustrative only and in no way represents the only situations where the Mutual could apply all or a portion of the Conformance Deposit.

19. If at any time the amount of the Conformance Deposit falls below 3/4ths of the amount originally required to be posted, Member Owner agrees to immediately deposit additional sums with the Mutual in an amount sufficient to return the Conformance Deposit to the originally required level. Until the Conformance Deposit is so replenished, an automatic stop work order shall be in effect.

20. Any remaining Conformance Deposit is refundable if the Member Owner notifies the Division, in writing, that the improvement(s) for which the Conformance Deposit was posted have been completed in accordance with the approval, and the Division agrees with the same. The Mutual will mail the unused portion of the Conformance Deposit, if any, to the Member Owner's address of record with the Mutual. Under no circumstances shall Member Owner be entitled to any interest on any portion of the Conformance Deposit. If no written request for return of a Conformance Deposit is made by Member Owner within two years from the date when the Conformance Deposit is posted with the Mutual, the Conformance Deposit will be deemed forfeited to the Mutual.

21. All improvements must be installed in accordance with the California State Building Code, and the published Mutual Architectural Alterations Standards. See <u>http://www.lagunawoodsvillage.com</u>.

22. This approval does not change the number of bedrooms or the original maximum occupants permitted in the Manor.

23. During construction, work hours established by the Mutual and the Noise Ordinance set forth in the City of Laguna Woods Municipal Code must be adhered to at all times.

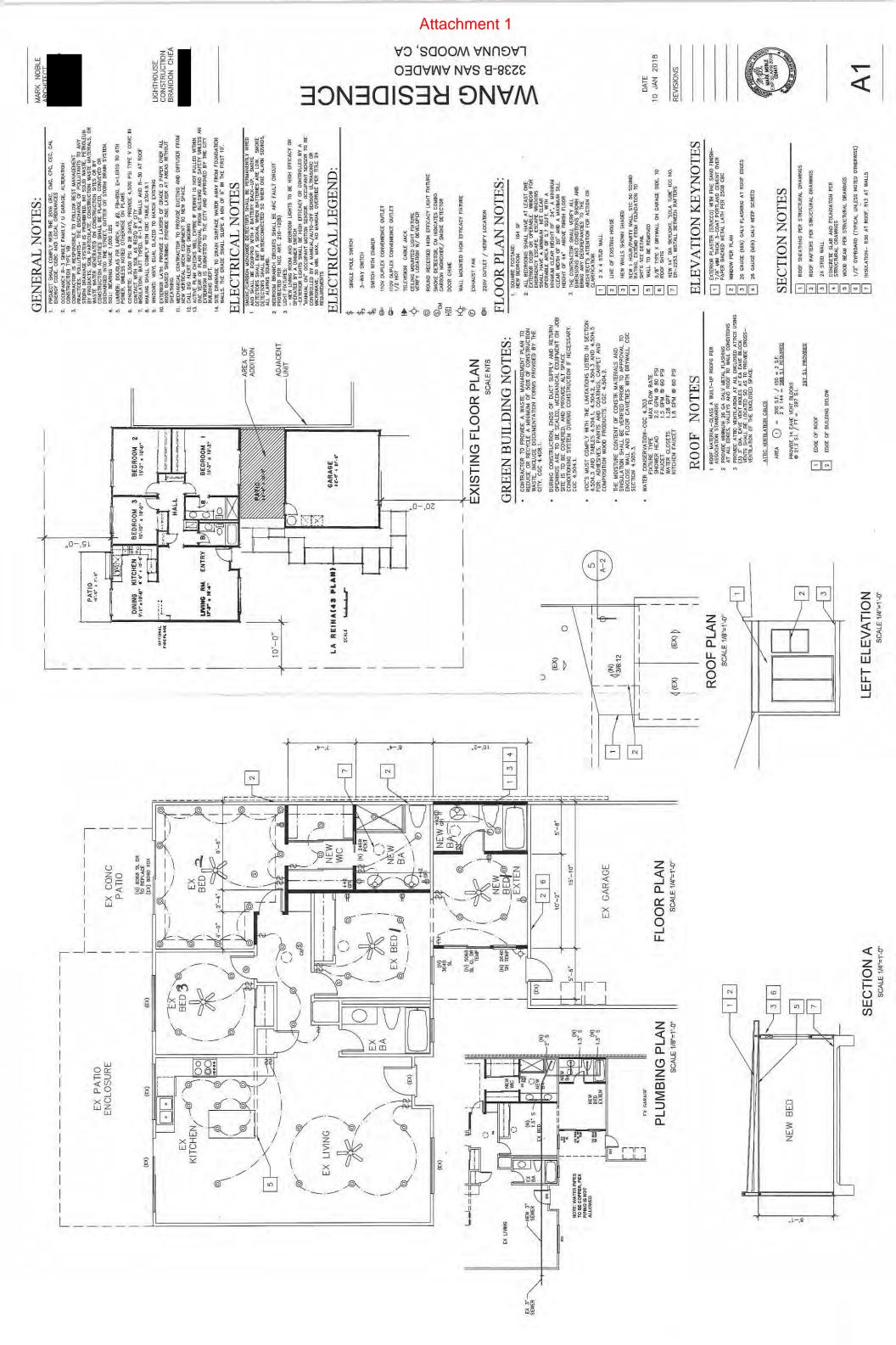
24. During construction, both the Mutual Consent for Manor Alterations and the City Building Permit must be on display for public view at all times in a location approved by the Division.

25. It is mandatory that no waste or materials associated with the construction be dumped in the Village trash bins; such waste or materials associated with the construction must be disposed of offsite by the contractor.

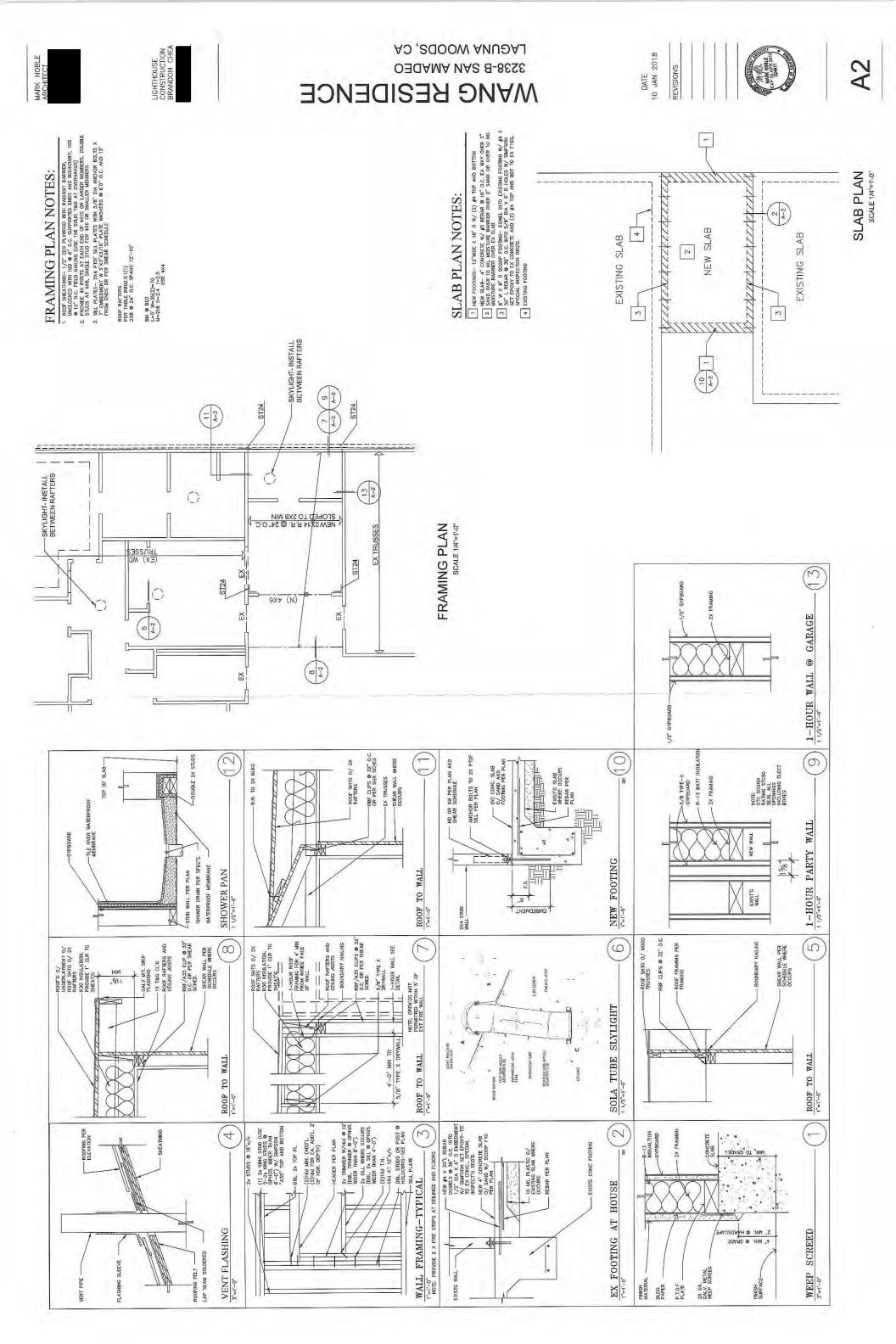
26. The Mutual Consent for Manor Alterations expires six months after the date of approval, unless an application is submitted with fees and approved by the Division for an extension. Only one extension for a maximum of an additional six months may be granted.

27. Violations of the forgoing conditions or the Mutual's Governing Documents (See <u>http://www.lagunawoodsvillage.com</u>), including, but not limited to, work outside the approved plans, excessive noise, illegal dumping, or working after hours, will result in disciplinary action, which could result in a stop work notice, loss of privileges and/or severe fines to the Owner Member. Such fines left unpaid will result in forfeiture of a portion or all of the Conformance Deposit required above or other legal remedy.

28. Mutual member shall indemnify, defend and hold harmless Third and its officers, directors, committee members and agents from and against any and all claims, demands, costs, fines, judgments, settlements and any other costs, expenses, amounts and liabilities arising from Mutual member's improvements and installation, construction, design and maintenance of same.



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Agenda Item # 11 Page 8 of 12

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MARK NOBLE ARCHITECT

WANG RESIDENCE

LAGUNA WOODS, CA

DATE 10 JAN 2018 REVISIONS

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Agenda Item # 11 Page 9 of 12

Attachment 2 Laguna Woods Village Varia Model: <u>La Reina</u> Member Name: <u>Chien Chun Alawe</u> Phone: <u>Contractor Numeroo.</u> <u>Lighthouse Construction</u>	Plan: Signature Email: Phone:	MANOR # <u>3238-B</u> ULWM TLHM SA 21217690 Date: 1 - 12 - 18 XOME
Description of Proposed Variance Req Arout patio make Dimensions of Proposed Variance Alte $15-10^{''} \times 10^{'-1}$	Room Add &	Bathroom
	FOR OFFICE USE ONLY ECEIVED: 01/12/18 Check#	10 10
Alteration Variance Request Check Items Received: Drawing of Existing Floor Plan Drawing of Proposed Variance Dimensions of Proposed Variance Before and After Pictures Other:		

Attachment: 3



Attachment: 4





STAFF REPORT

DATE: February 26, 2017 FOR: Architectural Control and Standards Committee SUBJECT: Variance Request Mr. Reza Karimi of 5037 (Villa Reposa, C11RC) Room Addition and Patio Cover on Rear Patio

RECOMMENDATION

Staff recommends the Board approve the request for a room addition and patio cover on rear patio with the conditions as stated in Appendix A.

BACKGROUND

Mr. Reza Karimi of 5037 Avenida Del Sol, a Villa Reposa style manor, is requesting Board approval of a variance to construct a room addition and patio cover on the same footprint as the original patio shown on the building's condominium plan (see Attachment 1). The cost of the proposed alteration would be borne by the Member. The room addition would take place on Exclusive Use Common Area only.

There is an existing rear patio extension measuring 9 feet, 10 inches deep by 26 feet, 10 inches wide that does not have prior Mutual Consent. This extension will be removed as part of this Variance.

There are no Architectural Standard Plans for a room addition with patio cover on this style of unit; a Variance is required.

DISCUSSION

The proposed room addition with patio cover will be constructed on the existing patio footprint ('T'-shape concrete slab consisting of 249 square feet) and will be constructed of wood frame with exterior stucco finished to match the existing building.

The existing patio slab will be removed and replaced with a new slab and footings to meet building code. The room addition will involve removing the living room wall and sliding glass door that abuts the rear patio along with the sliding glass door of the second bedroom. A new single door would be installed leading from the second bedroom to the room addition, while a cased opening would be constructed between the living room and new room.

On the rear elevation, a 8 foot wide by 5 foot tall window would be installed in the center of the new living room extension, while a 4 foot wide by 5 foot tall window would be installed behind the second bedroom, which will involve removing the living room wall and sliding glass door along with the sliding glass door of the second bedroom. The left elevation would have a 3 foot wide by 5 foot high window; the right elevation depicts a set of French doors measuring 4 feet, 8 inches wide by 6 feet, 8 inches tall, leading out onto the remaining covered patio.

A proposed new roof will cover both the new room addition and the remaining portion of the patio by follow the existing roofline at 15 feet high with pitch matching the rest of the roof (4:12), and will extend to the end of the new room addition with a foot wide eave. The roof extension would be finished with a Spanish tile to match the existing roof.

A City permit that would ensure Title 24 is met will be required for Mutual approval.

A City of Laguna Woods building permit final would verify compliance with all applicable building codes to include light, ventilation, and egress.

A Neighbor Awareness Notice was sent to units 5035, 5036 and 5038 on January 31, 2018 due to being within 150 feet with a line of sight to the alteration.

No previous requests for rear patio room additions for Villa Reposa style units are on file, however various model floor plans have been approved for rear patio room additions, such as 5448 in September 2017, 5227 in December 2017, 3255-A in December 2017 and 5550-A in December 2017.

At the time of preparing this report, there are thirteen open Mutual Consents for Manor 5037 as part of a whole unit remodel. This includes a side patio room addition that was approved by the Board via Variance in November 2017. Due to the length of the variance process, the Mutual Consents have expired. The member is in the process of renewing the Mutual Consents that have expired.

Mutual Consents 5037												
Description	Issued Date	Mutual Permit										
Skylight in Garage	8/7/2017	171681A										
Shower to Shower	8/8/2017	171680										
Door Revision (Entry)	8/8/2017	171680										
Electrical Throughout	8/8/2017	171680										
Wall Revision (Entry)	8/8/2017	171680										
Wall Revision Bath	8/8/2017	171680										
Wall Revision Living Room	8/8/2017	171680										
Tile on Courtyard	8/8/2017	171680										
Skylight in Living Room	8/8/2017	171680										
Glass Windscreen/Room Addition (Variance)	12/12/2017	172468										
Demo Column/Entry (Variance)	12/12/2017	172468										
Demo Beam/Entry (Variance)	12/12/2017	172468										
Deco Brick/Wall	12/12/2017	172468										

All future costs and maintenance associated with the subject alterations are the responsibility of the Mutual member(s) at 5037.

Prepared By:	Gavin Fogg, Alterations Inspector II
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Reviewed By: Kurt Wiemann, Permits, Inspections & Restoration Manager

ATTACHMENT(S)

- Appendix A: Conditions of Approval
- Attachment 1: Site Plan
- Attachment 2: Variance Request
- Attachment 3: Photos
- Attachment 3: Map

APPENDIX A

CONDITIONS OF APPROVAL

Conditions of approval would be as follows:

1. No improvement shall be installed, constructed, modified or altered at Manor **5037**, ("Property") within the Third Laguna Hills Mutual ("Mutual") unless and until a Mutual Consent for Manor Alterations application for the improvement has been made to, and approved, in writing, by, the Village Management Services, Inc. ("VMS, Inc."), Manor Alterations Division ("Division"), or, in the event of a Variance from the Mutual's Alteration Standards, the Architectural Control and Standards Committee ("ACSC"). In the event written permission is given for the installation, construction, modification or alteration of any improvement(s) upon the Property, the Member Owner or Owners ("Member Owner") agrees to comply with the Mutual's Governing Documents and any specific terms or conditions imposed, and that the installation, construction, modification or alteration shall be in strict compliance with the terms of the approval.

2. A Mutual Consent for Manor Alterations has been granted at **5037** for **Room Addition and Patio Cover on Rear Patio**, subject to the attached plans stamped approved and is subject to the final inspection by the Division. Any variations to the approved attached plans are not allowed and could result in a stop work notice and/or severe fines to the Member.

3. Member Owner hereby consents to and grants to the Mutual and the Division, and their representatives, a right of entry upon the Property at any time to be used to inspect the Property and the improvements thereon and for the Mutual and the Division, and their representatives and contractors to remedy any violation upon the Property, including, but not limited to, removing trash, removing any improvement installed without approval or modifying an improvement to bring the same into compliance with the terms of the approval.

4. All costs for maintenance, repair, renovation, replacement or removal of the improvement, present and future, are the responsibility of the Property's Member Owner at 5037 and all future Mutual members at 5037.

5. Member Owner shall be responsible for all activity by contractors, subcontractors, material suppliers and their employees and agents and any others who perform work on the Property, including any violation of the Mutual's Governing Documents, including, but not limited to, traffic and parking violations, maintenance of a clean job site at all times, and use of Mutual property for storage of equipment or materials without prior approval. Member Owner acknowledges and agrees that all such persons are his/her invitees. Member Owner shall be responsible for informing all his/her invitees of the Mutual's Rules and Regulations.

6. Member Owner shall be liable for any violation of the Mutual's Governing Documents by any invitee, including any fine, assessment, traffic or other charge levied in connection therewith.

7. Member is responsible for following the gate clearance process (<u>http://www.lagunawoodsvillage.com/residents/resident-services</u> and click on documents and Business Pass Application Instructions) in place to admit contractors and other invites.

8. Member Owner's contractors and other invitees shall have business signage on vehicles and travel to and from the job site by the most direct route available and are not authorized to use Mutual recreational facilities or other amenities while they are in the Village for performance of work in connection with the Property.

9. Parking of contractors or other invitees' vehicles is prohibited in covered resident parking, open resident spaces, handicapped spaces or fire lanes. Contractors or other invitees must park on the street. To the extent possible contractors' or other invitees' vehicles should be limited in number.

10. Member Owner(s) of the Property must sign and submit to the Mutual, c/o VMS, Inc., at the Division office located in the Laguna Woods Village Community Center, an executed and notarized "Recordable Common Area Agreement" for a proposed improvement that would utilize any portion of the Mutual's Common Area. Prior to the issuance of a Mutual Consent for Manor Alterations, that "Recordable Common Area Agreement" must be filed with the Orange County Clerk/Recorder.

11. A City of Laguna Woods permit is required, which may include the requirement to obtain clearance from the South Coast Air Quality Management District (Asbestos Hot Line at (909) 396-2336). Prior to the issuance of a Mutual Consent for Manor Alterations, the appropriate City of Laguna Woods permit number(s) must be submitted to the Division office located in the Laguna Woods Village Community Center. The City permit must be finalized within the prescribed timeframe, and a copy of the final permit must be submitted to the Division within two weeks.

12. Prior to the issuance of a Mutual Consent for Manor Alterations, a complete set of unit specific plans prepared by a licensed architect or structural engineer depicting the proposed improvement must be submitted to the Division office located in the Laguna Woods Village Community Center. The plans must depict any required structural modifications ensuring the structural integrity of the building is maintained upon completion of the proposed improvement.

13. Prior to the issuance of a Mutual Consent for Manor Alterations, if required, a Mutual Roof Alteration Notification ("Tie-In Form") must be submitted to the Division. All roof tie-ins must be performed by a C-39 Licensed Contractor. The Member Owner may hire a C-39 Licensed Contractor of his/her own choice to perform roof tie-ins for the installation of solar panels on all roof types except PVC Cool Roofs. For PVC Cool Roofs, regardless of the roof type, all tie-ins must be performed by the Mutual's roofing contractor at the Member Owner's expense. All tie-ins may only be made to sound structural elements. Existing structural elements proposed to be tied to, which exhibit signs of dry rot or other structural defects, must first be replaced or repaired at the Member Owner's expense during construction of the improvement.

14. Prior to the issuance of a Mutual Consent for Manor Alterations, the Member Owner shall request a Landscape Department inspection in order to assure all landscape, irrigation, and drainage modifications associated with the improvements are identified and completed by the Landscape Department at the expense of the Member Owner. All gutter drainage shall be directed away from structures, free standing walls, foundations, and pedestrian walkways.

15. Prior to the issuance of a Mutual Consent for Manor Alterations, any altered exterior surface should match the Building color; vinyl fence/gate will be either white or taupe, tubular steel or wrought iron fence/gate will be black or white; the approved colors and materials are

identified as "Third Laguna Hill Mutual Color Selections" at Resident Services, located at the Community Center first floor.

16. Prior to the Issuance of a Mutual Consent for Unit Alterations, the Member shall post a Conformance Deposit in the amount of \$250 for all improvements exceeding a total of \$500.The Conformance Deposit will be held until Final City Building Permit Issuance if required, to assure no damages to Mutual property occurs during construction, including, but not limited to, internet/TV, landscaping, or exterior walls/roof.

17. The Conformance Deposit shall be held by the Mutual and applied, at the Mutual's sole discretion, to any fine levied against the Member Owner or the Property, to cover and/or recoup any costs whatsoever, including, but not be limited to, administrative and legal costs, incurred by the Mutual or VMS, Inc., in connection with the Property, or to any unpaid charges or assessments on the Mutual's account for the Property. For example, the Mutual could apply all or a portion of the Conformance Deposit to cover the following: fines levied against any invitee of Member Owner; fines levied for construction violations; costs incurred by the Mutual in repairing damage to Mutual property caused by Member Owner's contractor or other invitee; costs incurred by the Mutual in curing a violation on the Property; costs incurred in removing or altering an improvement upon the Property; or to an unpaid assessment, special assessment, late charge, interest or collection costs posted to the Mutual's account for the Property. The foregoing list is illustrative only and in no way represents the only situations where the Mutual could apply all or a portion of the Conformance Deposit.

18. If at any time the amount of the Conformance Deposit falls below 3/4ths of the amount originally required to be posted, Member Owner agrees to immediately deposit additional sums with the Mutual in an amount sufficient to return the Conformance Deposit to the originally required level. Until the Conformance Deposit is so replenished, an automatic stop work order shall be in effect.

19. Any remaining Conformance Deposit is refundable if the Member Owner notifies the Division, in writing, that the improvement(s) for which the Conformance Deposit was posted have been completed in accordance with the approval, and the Division agrees with the same. The Mutual will mail the unused portion of the Conformance Deposit, if any, to the Member Owner's address of record with the Mutual. Under no circumstances shall Member Owner be entitled to any interest on any portion of the Conformance Deposit. If no written request for return of a Conformance Deposit is made by Member Owner within two years from the date when the Conformance Deposit is posted with the Mutual, the Conformance Deposit will be deemed forfeited to the Mutual.

20. All improvements must be installed in accordance with the California State Building Code, and the published Mutual Architectural Alterations Standards. See <u>http://www.lagunawoodsvillage.com</u>.

21. During construction, work hours established by the Mutual and the Noise Ordinance set forth in the City of Laguna Woods Municipal Code must be adhered to at all times.

22. During construction, both the Mutual Consent for Manor Alterations and the City Building Permit must be on display for public view at all times in a location approved by the Division.

23. It is mandatory that no waste or materials associated with the construction be

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dumped in the Village trash bins; such waste or materials associated with the construction must be disposed of offsite by the contractor.

24. The Mutual Consent for Manor Alterations expires six months after the date of approval, unless an application is submitted with fees and approved by the Division for an extension. Only one extension for a maximum of an additional six months may be granted.

25. Violations of the forgoing conditions or the Mutual's Governing Documents (See <u>http://www.lagunawoodsvillage.com</u>), including, but not limited to, work outside the approved plans, excessive noise, illegal dumping, or working after hours, will result in disciplinary action, which could result in a stop work notice, loss of privileges and/or severe fines to the Owner Member. Such fines left unpaid will result in forfeiture of a portion or all of the Conformance Deposit required above or other legal remedy.

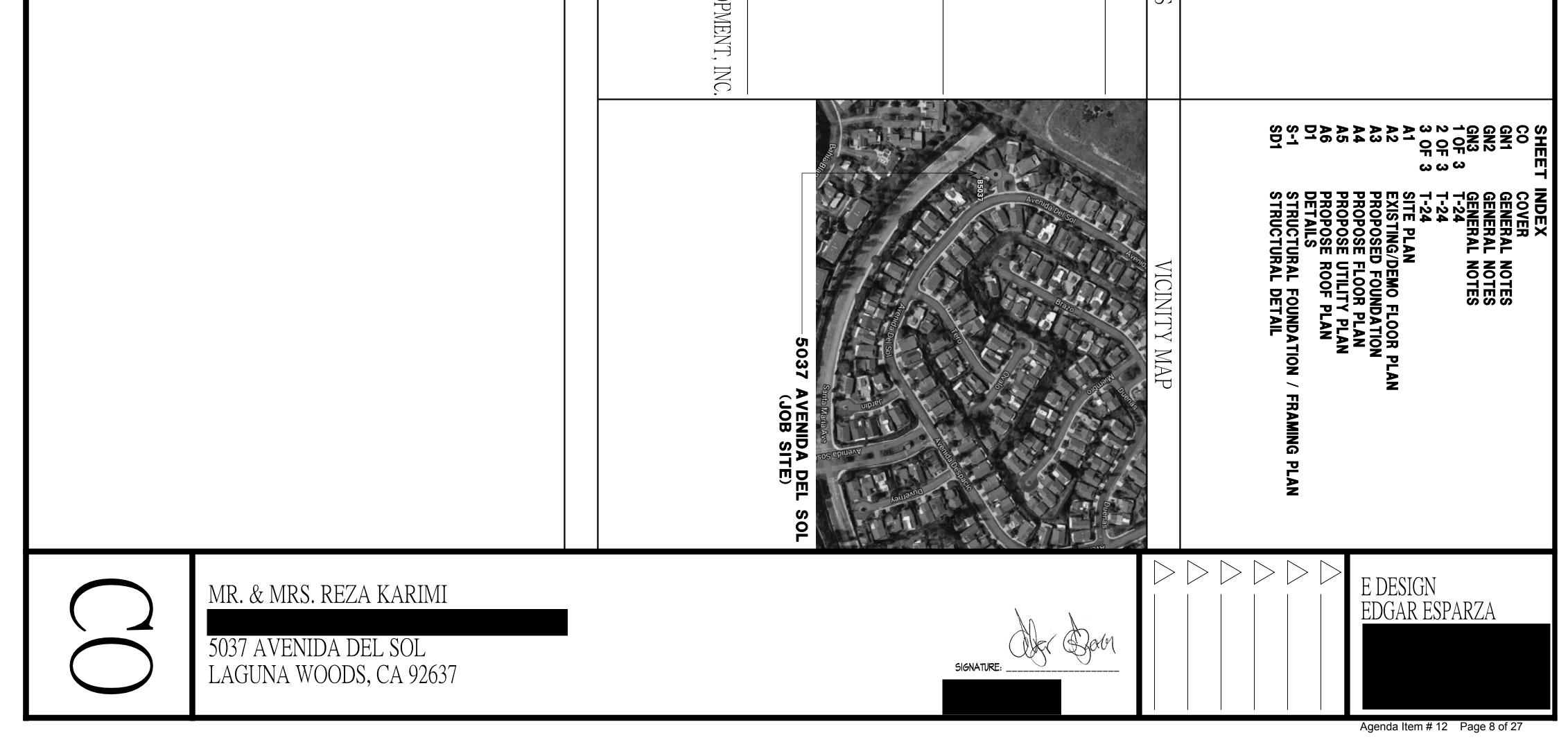
26. Mutual member shall indemnify, defend and hold harmless Third and its officers, directors, committee members and agents from and against any and all claims, demands, costs, fines, judgments, settlements and any other costs, expenses, amounts and liabilities arising from Mutual member's improvements and installation, construction, design and maintenance of same.

PROJECT: NR. & NRS. RE
5037 AVENIDA DEL SO APN:
Phone: PROPOSE ROOM ADDIT
PROJECT DATA
TYPE:
PE: V-B
MECHANICAL CODE:
ALIFORNIA ELECTRIC CODE: 2016
CALIFORNIA FIRE CODE: 2016 EDITION
MINIMUM 50% MATERIAL THAT IS REMOVED WILL BE RECYCLED
TAGE 1729 sq 187 sq
TOTAL1916 sq ftNEW PATIO64 sq ftEXISTING GARAGE593 sq ftFOR ARCHITECTS USE ONLY - DIMENSIONS TAKEN TO FACE OF STUDS
NOTES
THE IMPLEMENTATION OF THESE PLANS REQUIRE A CONTRACTOR AND / OR SUBCONTRACTOR THOROUGHLY KNOWLEDGEABLE WITH THE APPLICABLE BUILDING CODES AND METHODS OF CONSTRUCTION SPECIFIC TO THIS PRODUCT TYPE AND TYPE OF CONSTRUCTION.
WHEN AN AREA IS FOUND TO BE UNRESOLVED OR IN CONTRADICTION, EDGAR ESPARZA SHALL BE CONTACTED PRIOR TO COMMENCEMENT OF WORK
SYMBC
Z Z
1.4 SHEET NUMBER REVISION DELTA
DETAIL REFERENCE 2 REVISION NUMBER 4 DETAIL NUMBER 2 REVISION NUMBER 1 SHEET NUMBER 2 REVISION NUMBER
SCOPE OF WORK
BEDROOM 1 AND (N) BONUS ROOM BEDROOM 1 AND (N) BONUS ROOM

PZ637

ION (NEW BONUS ROOM)

FLUOR.	F.M.C.	ד י⊥	FLR.	F.G.	+ .+	FIN.	EXT.	EXH.	EQ.	ELEV.	EĄ.	DS.	D.G.	Ŗ	DW.	DIA.	DETS.	CONC.	CLR.	CER	ıЮ	CLG.	CSMT.	CAB.	BD.	BLW	BM.	BA.	ALT.	AC	ABV.		
FLUORESCENT	FLOOR MATERIAL CHANGE	FLOOR JOIST	FLOOR	FIXED GLASS	FINISH FLOOR	FINISH	EXTERIOR	EXHAUST	EQUAL	ELEVATION	EACH	DOWNSPOUT	DOUBLE GLAZED	DOOR	DISHWASHER	DIAMETER	DETAILS	CONCRETE	CLEAR	CERAMIC	CENTER LINE	CEILING	CASEMENT	CABINET	BOARD	BELOW	BEAM	BATH	ALTERNATE	AIR CONDITIONER	ABOVE		
PDR	PC	PLYMD.	PLT.	PAN.	77	0	OPT.	OPNG.	0.C.	N.T.S.	MIN.	MTL.	M.C.	<u>,</u>	LAV.	LAUN.	LAM.	H.C.	HT.	HDR.	GYP.	6.F.I.	GRD.	GL.	6.D.	6.D.O.	GAR.	<u>G</u>	FR	F.A.U.	Ft6.	ABBI	
POWDER	PHOTO CONTROL	PLYWOOD	PLATE	PANTRY	PAIR	OVER	OPTION	OPENING	ON CENTER	NOT TO SCALE	MINIMUM	METAL	MEDICINE CABINET	MASTER	LAVATIORY	LAUNDRY	LAMINATED	HOLLOW CORE	HEIGHT	HEADER	GYPSUM	GROUND FAULT INTERRUPT	GRADE	GLASS	GARBAGE DISPOSAL	GARAGE DOOR OPENER	GARAGE	GALVANIZED	FRENCH	FORCED AIR UNIT	FOOTING	ABBREVIATIONS	
	№	Ъ.	Ý	NDN.	<u>М</u> .Р.	N.H	M.I.C.	YoL.	<.₽.	<u></u>	U.N. <i>O</i> .	TYP.	. - 1	TEMP.	5Q.	5.C.	<u>ร</u>	S.H.	SIM.	SHLY.	ເ ເ ເ ເ ເ ເ เ	SEC.	SECT.	RM.	Ŗ	RDG.	REV.	R/S	REF.	RAD.	i 0		
	WROUGHT IRON	WOOD	HLIM	WINDOW	WEATHER PROOF	WATER HEATER	WALK IN CLOSET	VOLUME	VAPOR PROOF	VALLEY	UNLESS NOTED OTHERWISE	TYPICAL	TREAD	TEMPERED	SQUARE	SOLID CORE	SLIDING	SINGLE HUNG	SIMILAR	SHELVES	SHELF AND POLE	SECURITY	SECTIONAL	ROOM	RISER	RIDGE	REVERSE	RE-SAWN	REFRIGERATOR	RADIUS	PROPERTY LINE		
							PERFECT DESIGN & DEVELOP		111112 - 24												STRUCTURE ENGINEERING							HUGAR HSPARZA			DECIGNER	CONSULTANTS	



ALTERNATIVE APPROVED TECHNIQUES MAY BE USED TO MEET THE STANDARD CAULKING REQUIREMENTS FOR EXTERIOR WALLS INCLUDING, BUT NOT LIMITED TO, CONTINUOUS STUCCO, CAULKING OR TAPING OF ALL JOINTS BETWEEN WALL COMPONENTS (E.G., BETWEEN SLATS IN WOOD SLAT WALLS), BUILDING WRAPS OR RIGID WALL INSULATION. ∢

2. BUILDER AND INSULATION INSTALLER ARE TO PROVIDE CERTIFICATE OF INSULATION AND POST IN THE BUILDING IN A CONSPICUOUS LOCATION.

3. SEE PLANS FOR PARTY WALL CONDITIONS. EXTERIOR WALL COVERINGS:

WEATHER RESISTIVE BARRIER: PROVIDE ONE (1) LAYER # 15 ASPHALT SATURATED FELT MINIMM UNDER ALL EXTERIOR FINISHES. CBC 1404.2 PROVIDE TWO (2) LAYERS OF # 15 BUILDING PAPER AT SOLID SHEATHING PER CBC SECTION 2510.6

MATERIALS: I. ALL EXTERIOR MATERIALS SHALL CONFORM TO THE REQUIREMENTS OF THE CBC, APPLICABLE EDITION, STATE AND LOCAL CODES.

UNLESS REQUIRED TO BE HANDICAP ACCESSIBLE, PROVIDE A MINIMM 2 INCH DROP FROM FINISHED INTERIOR FLOOR TO THE HIGHEST FLOOR LEVEL ON ANY ADJOINING DECK OR BALCONY. BUILDER SHALL BE RESPONSIBLE FOR THE MEATHER INTEGRITY OF THE ENTIRE HORIZONTAL MEMBRANE ,INCLUDING TRANSITION FLASHINGS , PENETRATIONS, ETC. COATING THICKNESS SHALL BE AT LEAST THAT AS REQUIRED BY MANUFACTURER. NO REFLECTIVE SEAMS IN PLY OR METAL SHALL BE VISIBLE UPON COMPLETION.

DIVISION 8: DOORS, WINDOWS AND GLASS

ALL EXTERIOR DOORS AND WINDOM ASSEMBLIES SHALL COMPLY WITH THE REQUIREMENTS OF CBC SECTION 1714.5 (DESIGN PRESSURE RATING), AND SHALL BE LABELED STATING THE NAME OF THE MANUFACTURER AND THAT THE ASSEMBLY COMFORMS TO AAMA/WDMA/CSAIOI/I.S.2/A440.

GLASS AND GLAZING SHALL BE DESIGNED TO RESIST WIND LOADS IN CBC SEC. 1609 FOR COMPONENTS AND CLADDING. LOAD RESISTANCE SHALL BE DETERMINED IN ACCORDANCE WITH ASTM E 1300. CBC SEC. 2404.1

SECTION &-A WOOD DOORS:

STANDARDS: ALL DOORS SHALL COMPLY WITH THE REQUIREMENTS OF THE WOODWORK INSTITUTE OF CALIFORNIA, STANDARD GRADE (U.N.O.); TITLE 24, CALIFORNIA ADMINISTRATIVE CODE.

SCOPE: FURNISH AND INSTALL ALL DOORS COMPLETE AS INDICATED ON PLANS. THE GENERAL CONTRACTOR SHALL COORDINATE DOOR SUPPLIER AND FRAMING CONTRACTOR FOR INSTALLATION OF ALL DOORS.

STANDARDS AND INSTALLATION: PER MANUFACTURER'S INSTALLATION RECOMMENDATIONS. ALL EXTERIOR DOORS SHALL COMPLY WITH MANDATORY STATE INFILTRATION STANDARDS.

MEASUREMENTS: VERIFY ALL DIMENSIONS BY TAKING FIELD MEASUREMENTS PRIOR TO INSTALLATION.

TYPE \$ SIZES: AS INDICATED IN DRAWINGS.

MATERIALS:

A. GLASS IN HAZARDOUS AREAS: PROVIDE TEMPERED GLASS PER CBC 5EC 2406 AND AS INDICATED IN DRAWINGS AND AS NECESSARY. ALL GLASS IN OPERABLE DOORS SHALL BE TEMPERED.

B. ENTRY DOORS: 1 3/4 inch THICK SOLID WOOD, EXTERIOR GRADE. AS SELECTED BY OWNER.

C. INTERIOR DOORS: 13/8 inch THICK HARDBOARD, HOLLOW CORE, AS SELECTED BY OWNER. D. BI-PASS WARDROBE: 1 1/8 Inch THICK HARDBOARD, HOLLOW CORE.

F. BI-FOLD DOORS: TO MATCH TYPICAL INTERIOR DOORS. LOWERED.

6. FRENCH DOORS: 13/4 Inch THICK METAL WITH DIVIDED LITES AS INDICATED ON EXTERIOR ELEVATIONS.

H. GARAGE DOOR TO LIVING UNIT AT I HR. OCC. SEPARATION , SELF-CLOSING, SELF LATCHING, SOLID WOOD OR METAL HONEYCOMB, I 3/8 INCHES IN THICKNESS (OR SELF-CLOSING SELF LATCHING DOOR HAVING A FIRE PROTECTION RATING OF NOT LESS THAN 20 MINUTES PER 715.4.3.) CBC 406.1.4

SCOPE: FURNISH AND INSTALL ALL VINYL DOORS AND WINDOWS COMPLETE AS INDICATED ON PLANS. THE GENERAL CONTRACTOR SHALL COORDINATE WINDOW SUPPLIER AND FRAMING CONTRACTOR FOR INSTALLATION OF ALL WINDOWS AND DOORS. STANDARDS AND INSTALLATION: PER MANUFACTURER'S INSTALLATION RECOMMENDATIONS. ALL WINDOWS AND DOORS SHALL COMPLY WITH MANDATORY STATE INFILTRATION STANDARDS. ALIGN BOTTOM OF HEADERS AT ALL ADJACENT WINDOWS AND DOORS UNLESS NOTED OTHERWISE ON PLANS. VEASUREMENTS: VERIFY ALL DIMENSIONS BY TAKING FIELD VEASUREMENTS PRIOR TO INSTALLATION. SECTION 8-B VINYL DOORS AND WINDOWS

TYPE \$ SIZES: AS INDICATED ON THE DRAMINGS.

A. GLASS IN HAZARDOUS AREAS. PROVIDE TEMPERED GLASS CHAPTER 24 CBC REGUIREMENTS, AS INDICATED IN DRAWINGS AND AS NECESSARY. ALL OPERABLE DOORS TO BE TEMPERED. B. VINYL SLIDING DOORS. COMPLETE WITH NYLON SCREEN; FINISH TO MATCH DOOR FRAME.

C. VINYL OPERABLE WINDOWS: COMPLETE WITH VINYL SCREEN; FINISH TO MATCH WINDOW FRAMES. D. FIXED SASH: MATCH OPERABLE WINDOWS.

EDGAR ESPARZA E DESIGN

EGRESS: MANUFACTURER/SUPPLIER SHALL PROVIDE WINDOWS THAT MEET ALL EMERGENCY EXITING REQUIREMENTS OF THE CBC SEC. 1026 AND NOTIFY ARCHITECT IF DRAWINGS ARE IN CONFLICT PRIOR TO FABRICATION OR DELIVERY

LIGHT AND VENTILATION: MINIMUM OPENABLE AREA TO THE OUTDOORS SHALL BE 4 PERCENT OF THE FLOOR AREA BEING VENTILATED PER CBC 5EC. 1203.4.1

SECTION 8-C: 6LASS AND 6LAZING

GLASS AND GLAZING SHALL BE DESIGNED TO RESIST WIND LOADS IN CBC SEC. 1609 FOR COMPONENTS AND CLADDING. LOAD RESISTANCE SHALL BE DETERMINED IN ACCORDANCE WITH ASTM E 1300. CBC SEC. 2404.1 SCOPE: FURNISH AND INSTALL ALL GLAZING AND MIRRORS OTHER THAN FACTORY GLAZED DOOR AND WINDOWS. GLAZING SHALL BE DONE DURING FINISH WORK. IF MIRRORED WARDROBE DOORS ARE USED, SAFETY GLAZING IS REQUIRED.

5TANDARDS: 6LA55 AND 6LAZING AS PER CHAPTER 24 OF THE CBC AND ENERGY COMPLIANCE CALCULATIONS.

MATERIALS:

A. GLASS IN HAZARDOUS AREAS: PROVIDE TEMPERED GLASS PER CBC 5EC 2406 REQUIREMENTS, AS INDICATED IN DRAWINGS AND AS NECESSARY. ALL OPERABLE DOORS TO BE TEMPERED.

B. FIXED AND OPERABLE WINDOWS: AS PER T-24 RECOMMENDATIONS C. DOORS: 3/16 INCH THICK TEMPERED 6LASS. DUAL 6LAZED TYPICAL. DIVIDED LITES AS SHOWN ON EXTERIOR ELEVATIONS.

D. MIRRORS: 1/4 INCH POLISHED PLATE. SEE INTERIOR ELEVATIONS FOR SIZE.

E. SHOMER ENCLOSURES: APPROVED TEMPERED, SHATTER PROOF, OBSCURE, (CLEAR AT MODELS). PER CBC TABLE 2406.1.5

F. MIRRORED WARDROBE DOORS: SAFETY GLASS PER CBC 2406.1 EXEMPT IF MOUNTED OF HUNG ON A SURFACE THAT PROVIDES CONTINUOUS BACKING SUPPORT.

ENUTANOIS

6. CAULKING COMPOUND: GUN APPLIED, NONHARDENING, NON-MILDEWING.

SECTION &-D: WEATHER-STRIPPING AND THRESHOLDS

exterior doors: Shall be completely meather-stripped with Mortise-type as manufactured by "Pemko" or owner selected Substitute.

THRESHOLDS: ALUMINUM, BRONZE ANODIZED, TO MEET ALL APPLICABLE DISABLED ACCESSIBLE ROUTE REQUIREMENTS WHERE REQUIRED.

SECTIONAL GARAGE DOORS: GARAGE DOOR TYPE, MODEL, COLOR AND FINISH SHALL BE SELECTED BY THE BUILDER.

SPRING MUST BE CONTAINED WITH A RESTRAINT DEVICE TO ANCHOR THE SPRING OR ANY PART THEREOF IN THE EVENT IT FRACTURES.

BOTH THE SPRING AND THE RESTRAINT DEVICES MUST BE IDENTIFIED AS CONFORMING TO THE REQUIREMENTS OF THE CALIFORNIA DEPARTMENT OF HOUSING AND COMMUNITY DEVELOPMENT.

DIVISION 4: FINISHES

SECTION 9-A STUCCO

SCOPE: FURNISH AND INSTALL ALL PLASTERING MORK COMPLETE, INCLUDING GROUNDS, SCREEDS, EXPANSION JOINTS, CASING, CORNER GUARDS, ETC.

STANDARDS:

A. ALL MORK SHALL COMPLY WITH CHAPTER 25 OF THE CBC
B. ALL WORK SHALL COMPLY WITH THE INSTALLATION STANDARDS OF THE MFR. OF THE PLASTER INSULATION PROPUCTS PROVIDED.
C. ALL WORK SHALL COMPLY WITH APPLICABLE STANDARDS OF "LATHING AND PLASTERING REFERENCE SPECIFICATIONS" OF THE REGIONAL LATHING AND PLASTERING CONTRACTOR'S ASSOCIATION.
D. APPLICATION OF MEATHERPROOF BARRIER SHALL BE THE REGIONAL LATHING AND PLASTERING CONTRACTOR'S ASSOCIATION.
D. APPLICATION OF MEATHERPROOF BARRIER SHALL BE THE RESPONSIBILITY OF CONTRACTOR BASED ON RECOMMENDATIONS OF THE STUCCO MANUFACTURING REPRESENTATIVE.
E. FINISH. AS SELECTED BY COLOR AND MATERIAL BOARD.
PROVIDE ARCHITECT WITH MINIMM 24 INCH X 24 INCH FIELD APPLIED SAMPLE PRIOR TO FIELD APPLICATION ON UNITS. COLOR AS SELECTED BY ARCHITECT, REFER TO COLOR SCHEDULE.
F. EXPOSED CONCRETE FOUNDATION: FINISH COLOR COAT ALL APPLIED SAMPLE REJOR TO FIELD APPLICATION ON UNITS.

F. EXPOSED CONCRETE FOUNDATION: EXPOSED SURFACES.

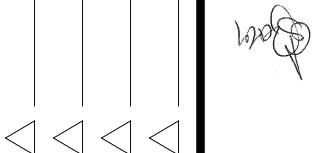
MATERIALS - 7/8 INCH STUCCO

A. REFERENCE SPECIFICATIONS: LATHING MATERIALS AND THEIR APPLICATION AND PLASTER MATERIALS AND THEIR APPLICATION SHALL BE IN STRICT ACCORDANCE WITH THE APPLICABLE SECTIONS FOR LATHING, FURRING AND PLASTERING OF THE NATIONAL GYPSUM ASSOCIATION.

B. WIRE MESH: I 1/2 INCH MESH, IT GAUGE, GALVANIZED BEFORE OR PREFURRED PAPERBACK STUCCO NETTING AND PLASTERBACK STUCCO NETTING (COMPLIES W/ ASTM CI032 (ER #2261) BY XM INTERNATIONAL. [CBC 2507]
C. BUILDING PAPER: INSTALL MIN. "60 MINUTE" BUILDING PAPER . UNDER EXTERIOR TRIM AND SIDING APPLY SO AS TO FORM A MEATHERTIGHT MEMBRANE. OVERLAP EACH COURSE BELOW 2 INCH MINIMUM HORIZONTAL JOINTS AND 6 INCH MINIMUM AT VERTICAL JOINTS.

D. FLASHING AT WALL PENETRATIONS: INSTALL A 4-HOUR RATED FLASHING PAPER AS MANUFACTURED BY FORTIFIBER (E.G., MOISTOP) AS FLASHING IN A MEATHERBOARD FASHION. SLIP MINDOW UNDER HORIZONTAL HEAD MOISTOP AND SECURE METAL MINDOW UNDER POOR FIN OVER MOISTOP AT SIDES AND BOTTOM. NOTE: PROVIDE A HEAD OF BUTYL SEALANT ON INTERFACE OF FINS AT TOP AND BOTOM. AAMA GUIDELINES AND/OR DETALL SHOWING PROPER LAP OF FLASHING PAPER WITH THE FOLLOWING EXCEPTIONS () MINDOW TO BE SET IN FULL BED OF SEALANT. 2) NO BUILDING PAPER BREAKS ABOVE, BELOM, AND WITHIN 24-INCHES OF OPENINGS. ALL PENETRATIONS SUCH AS WATER AND GAS PIPES TO BE SEALED TO PAPER WITH SEALANT.

E. THE PORTLAND CEMENT ASSOCIATION RECOMMENDS THE FOLLOWING CRITERIA FOR STUCCO JOINT SPACING:
- NO LENGTH SHOULD BE GREATER THAN 18 FT. IN EITHER DIRECTION
- NO PANEL SHOULD EXCEED 144 SQ. FT. FOR VERTICAL APPLICATIONS
- NO PANEL SHOULD EXCEED 144 SQ. FT. FOR HORIZONTAL, CURVED, OR ANGULAR SECTIONS
- NO LENGTH-TO-WIDTH RATIO SHOULD EXCEED 2 1/2 TO I IN ANY GIVEN PANE



& MKS. REZA KARIMI 'MK'

LAGUNA WOODS, CA 92637 TOS 2037 AVENIDA DEL

SPECIAL CONDITIONS: A. PROVIDE CANT STRIPS AT ALL VERTICAL SURFACES. B. PROVIDE CRICKETS AS INDICATED, AND AS NECESSARY FOR PROPER WATER DRAINAGE AND TO REDIRECT CHANNELED OR	RUNOFF WATER AWAY FROM VERTICAL SURFACES. MATERIALS: REFER TO PLANS FOR TYPE AND MANUFACTURER OF ROOFING.	SECTION 1-B SHEET METAL: MEASUREMENTS: VERIFY ALL DIMENSIONS SHOWN ON DRAWINGS BY TAKING FIELD MEASUREMENTS; PROPER FIT AND ATTACHMENT ON ALL PARTS IS REQUIRED. STANDARDS: ALL WORK INCLUDED IN THIS SECTION SHALL BE PERFORMED IN A MEATHER TIGHT MANNER CONSISTENT WITH GOOD	ROOFING AND MEATHERFROOFING FRACTICE". FOLLOW SIDING , WINDOW AND ROOFING MANUFACTURERS' GUIDELINES " FLASHING AND COUNTERFLASHING: EXTERIOR OPENINGS EXPOSED TO THE WEATHER SHALL BE FLASHED IN SUCH A MANNER AS TO MAKE THEM WEATHERPROOF. FLASHING AND COUNTER FLASHING SHALL BE	MALLS, ETC.) PER CBC SECTION 1503.2.1. (MALLS, ETC.) PER CBC SECTION 1503.2.1. ALL PARAPETS SHALL BE PROVIDED WITH COPING OF APPROVED MATERIALS. ALL FLASHING, COUNTER FLASHING AND COPING, WHEN OF METAL, SHALL BE OF NOT LESS THAN NO. 26 U.S. GAUGE	CORROSION-RESISTANT METAL PER CBC SECTION 1503.3.3. ROOF VALLEY FLASHINGS SHALL BE PROVIDED FOR SHINGLES AS FOLLOWS:	A. ASPHALT SHINGLES: THE ROOF VALLEY FLASHING SHALL BE THE SAME AS REQUIRED FOR WOOD SHINGLES OR SHALL BE OF LACED ASPHALT SHINGLES APPLIED IN AN APPROVED MANNER WITH AN UNDERLAYMENT OF NOT LESS THAN TYPE 30 FELT EXTENDING 18 inch FROM THE CENTER LINE EACH MAY.	CALIFORNIA". C.A.LIFORNIA". B. CLAY AND CONCRETE TILE: THE ROOF VALLEY FLASHING SHALL BE PROVIDED OF NOT LESS THAN 26. GA. GALVANIZED SHEET CORROSION-RESISTANT METAL APPLIED OVER AN UNDERLAYMENT OF NOT LESS THAN 30#	A.S.T.M. FELT. THE METAL SHALL EXTEND AT LEAST 12 Inch FROM THE CENTERLINE EACH WAY AND SHALL HAVE A SPLASH DIVERTER RIB NOT LESS THAN I Inch HIGH AT THE FLOM LINE FORMED AS PART OF THE FLASHING. SECTIONS OF FLASHING SHALL HAVE AN FND LAP OF NOT LESS THAN 4 Inch	DO NOT NAIL GREATER THAN I INCH INTO ANY VALLEY: DO NOT BLOCK WITH BATTENS. USE BATTEN EXTENDERS , WIRE TIES , OR OTHER TO COMPLY WITH THIS REQUIREMENT. USE CRIMPED EDGES	MHEKE UNDERLATMENI FELI'S AKE INSIALLED OVER VALLET METAL. ALL COMPONENTS SHALL BE INSTALLED PER MANUFACTURERS SPECIFICATION'S AND ICC REPORT. FLASH AND COUNTER FLASH AT ALL ROOF TO MALL CONDITIONS.	6.1. FLASH AND CAULK WOOD BEAMS AND OUTLOOKERS PROJECTED THROUGH EXTERIOR WALLS OR ROOF SURFACES. PROVIDE SOLID BLOCKING AROUND BEAM PENETRATIONS FOR SUPPORT OF METAL FLASHING COLLARS.	WHERE EXPOSED TO WEATHER, FLASH ALL HORIZONTAL WOOD TRIM BUTTING TO EXTERIOR FINISH.	. BE ACCURATELY FABRICATED TO MATCH DETAIL CONDITIONS.	2. MOLDED AND BRAKE-FORMED MEMBERS SHALL BE FINISHED TRUE AND STRAIGHT WITH SHARP LINES AND ANGLES. 3. LOCK SEAMS FLAT AND TRUE TO LINE, 1/2 inch MIDE, SMEATED BILL MITH COLIDED MITEDE OVERILA PORES NOT BROVIDE	HULL WITH SOLDER WHERE OVERLAPPING DOES NOT PROVIDE WATER TIGHT CONNECTION " ALTERNATE" USE A SEALANT SUCH AS VULKEM 116 WITH A 4-INCH MINIMUM OVERLAP	4. SHEET METAL MORK SHALL BE DESIGNED TO PROVIDE COMPLETE WEATHER TIGHT AND WATERPROOF CONNECTIONS.	5. ALL GALVANIZED METAL SHALL BE SHOP PRIMED WITH ONE COAT OF ZINC DUST-ZINC OXIDE PRIMER OVER ALL SURFACES AND AS RECOMMENDED BY METAL SPECIALIST.	6. SHEET METAL USED AS FLASHING ADJACENT TO MOOD SURFACES SHALL BE SET IN HIGH QUALITY SEALANT TO INSURE MATERPROOFING BETWEEN SUCH MATERIALS.	F.A.J. COMBUSTION AIR: PROVIDE COMBUSTION AIR PER MANUFACTURER'S SPECIFICATIONS AND CMC CHAPTER 1.	DRYER VENTS: VENT DRYER TO OUTSIDE AIR WITH MINIMUM 4 INCH DIAMETER SMOOTH METAL DUCT WITH BACK DRAFT DAMPER PER CMC 504.3. MANUFACTURERS SPECIFICATIONS AND LOCAL JURISDICTIONAL REQUIREMENTS. LENGTH LIMITATION. UNLESS OTHERWISE DEDMITTED OD DECILIDENTS TO THE MANILE ACTURED IN ACTION INCERPICATIONS	TENTIFICAL DAY REALIZED OF THE DIADAL ACTIVE AND APPROVED BY THE BUILDING OFFICIAL, DOMESTIC DRYER MOISTURE- EXHAUST DUCTS SHALL NOT EXCEED A TOTAL COMBINED HORIZONTAL AND VERTICAL LENGTH OF 14 FEET, INCLUDING TWO 90-DEGREE ELBOWS. TWO FT. BE DEDUCTED FOR EACH 90-DEGREE ELBOW IN EXCESS OF TWO. CMC 504:3.2.2	SECTION 7-C INSULATION:	SEE ENERGY COMPLIANCE SHEET FOR CALIFORNIA ENERGY TITLE 24 REQUIREMENTS. I. THE FOLLOWING OPENINGS IN THE BUILDING ENVELOPE MUST BE	CAULKED, SEALED OR WEATHER-STRIPPED: A. EXTERIOR JOINTS AROUND WINDOM AND DOOR FRAMES, BETWEEN WALL PANELS, WALL SOLE PLATES AND FLOORS.	B. OPENINGS FOR PLUMBING, ELECTRICAL AND GAS LINES IN EXTERIOR AND INTERIOR WALLS, CEILINGS AND FLOORS.	C. OPENINGS IN THE ATTIC FLOOR (SUCH AS WHERE CEILING PANELS MEET INTERIOR AND EXTERIOR WALLS AND MASONRY FIREPLACES). D. ALL OTHER SUCH OPENINGS IN THE BUILDING ENVELOPE.		
DIVISION 6: WOOD FRAME SECTION 6-A ROUGH CARPENTRY SEE STRUCTURAL ENGINEER OF RECORD FOR ALL FRAMING MEMBERS AND SPECIFICATIONS	ATTIC SPACES: ENCLOSED ATTICS AND ENCLOSED RAFTER SPACES FORMED WHERE CEILINGS ARE APPLIED DIRECTLY TO THE UNDERSIDE OF ROOF FRAMING MEMBERS SHALL HAVE CROSS VENTILATION FOR EACH SEPARATE SPACE BY VENTILATING OPENINGS PROTECTED AGAINST THE	Entrance of Rain and Snow. Blocking and Bridging Shall Be Arranged So as not to interfere with the movement of Air. A minimum of 1 inch (25 mm) of Airspace Shall be provided Between The Insulation and the Roof Sheathing. The Net Free Ventilating Area Shall not be Less Than 1/150 of the Area of the Space Ventilating Mith 50 percent of the Required Ventilating Area Provided By Ventilators Located in the Upper Portion of the Space to be Ventilated at Least 3 feet (914 mm) above eave or cornice Vents	WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE OR CORNICE VENTS. EXCEPTION: THE MINIMUM REQUIRED NET FREE VENTILATING AREA SHALL BE 1/300 OF THE AREA OF THE SPACE VENTILATED, PROVIDED A VAPOR RETARDER HAVING A TRANSMISSION RATE NOT EXCEEDING I PERM IN ACCORDANCE MITH ASTM E 96 IS INSTALLED ON THE MARM SIDE OF THE ATTIC INSULATION AND PROVIDED 50 PERCENT OF	THE REQUIRED VENTILATING AREA PROVIDED DI VENTILATED AT LEAST 3 IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 3 FEET (914 MM) ABOVE EAVE OR CORNICE VENTS, MITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE OR CORNICE VENTS. CBC. SEC. 1203.2	SECTION 6-C WOOD TRUSSES A. THE BUILDER SHALL COORDINATE THE INSTALLATION OF ALL CEILING DROPS WITH THE TRUSS MANUFACTURER AND THE FRAMING CONTRACTOR.	I. PREFABRICATED TRUSSES SHALL BE ASSEMBLED UNDER THE APPROVAL OF AN INDEPENDENT TESTING AGENCY PER CBC CHAPTER 23. THE MANUFACTURER SHALL BE AN APPROVED FABRICATOR, AS CURRENTLY LISTED BY ICC.	CONTRACTOR FOR SUBMITTAL TO THE BUILDING DEPARTMENT CONTRACTOR FOR SUBMITTAL TO THE BUILDING DEPARTMENT CALCULATIONS AND SHOP DRAMINGS FOR APPROVAL PRIOR TO FABRICATION. ALL CALCULATIONS AND SHOP DRAMINGS SHALL BE THE RESPONSIBILITY OF THE ENGINEER. IT SHALL BE THE RESPONSIBILITY OF THE MANUFACTURER TO OBTAIN BUILDING DEPARTMENT APPROVAL OF	3. BUILDER SHALL HAVE APPROVED TRUSS PLANS ON THE JOB PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE TRUSS MANUFACTURER SHALL SUBMIT CALCULATIONS, SHOP DRAWINGS, DETAILS, BRIDGING AND	ERECTION BRACING SIGNED BY A REGISTERED ENGINEER TO THE BUILDING DEPARTMENT AND STRUCTURAL ENGINEER, FOR THEIR REVIEW PRIOR TO FABRICATION. ONE SET OF SHOP DRAMINGS SHALL BE SUBMITTED TO THE ARCHITECT FOR REVIEW FOR CONFORMANCE MITH THE VISUAL DESIGN CONCEPT PRIOR TO	TRUSS FABRICATION. B. THE TRUSS MANUFACTURER SHALL BE RESPONSIBLE FOR FRAMING AROUND OPENINGS IN THE ROOF OR FLOOR, SHALL PROVIDE	LADDER FRAMING AT NONSTANDARD TRUSS MEMBER SPACING TO KEEP MITHIN THE SPAN RATING OF THE ROOF OR FLOOR SHEATHING AND SHALL SUBMIT DETAILS AND HANGERS AS REQUIRED.	C. THE TRUSS MANUFACTURER SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, SIZE AND WEIGHT OF ATTIC LOCATED MECHANICAL EQUIPMENT AND INCORPORATE SUCH INFORMATION INTO THE DESIGN AND CALCULATION OF TRUSSES SUPPORTING	IT. D. NON-BEARING WALLS SHALL BE HELD SHORT TO ALLOW FOR RAFTER-TRUGS DEFLECTION WITH CLIPS APPROVED BY THE CEDIMENTER IN ENGINEED TO GADRILITE THE WALL	E. TRUSS MANUFACTURER SHALL PROVIDE MEMBERS OF ADEQUATE BEARING AREA IN SUCH A MIDTH TO INSURE AGAINST OVER- STRESSING OF SUPPORTING TIMBER, MULTIPLE JOISTS, GIRDERS	AND PLATES OR PROVIDE BEARING PLATES AND DETAILS TO DO SAME. F THE GENERAL CONTRACTOR SHALL COORDINATE WITH THE TRUSS	MANFACTURER, FRAMING, ELECTRICAL, PLUMBING AND MECHANICAL CONTRACTORS AT FIRE PROTECTED AREAS TO MAINTAIN REQUIRED FIRE PROTECTION MITHOUT PENETRATIONS UNLESS ALLOWED BY CODE AND LOCAL JURISDICTION.	6. WHERE TRUSS FRAMING AND CONVENTIONAL FRAMING OCCUR TOGETHER IN A CONTINUOUS ROOF PLANE, THE GENERAL CONTRACTOR SHALL COORDINATE WITH THE TRUSS MANUFACTURER	DEFLECTION BETWEEN THE TRUSS AND CONVENTIONAL FRAMING MEMBERS.	H. WHERE TRUGS FRAMING AND CONVENTIONAL FRAMING OCCUR TOGETHER IN THE SAME ROOF, THE PLATE HEIGHT AS NOTED WILL BE MAINTAINED FOR THE DEEPER CONVENTIONAL MEMBER WITH THE BOTTOM TRUSS CORD MATCHING THE RAFTER SEAT CUT. TRUSS MANUFACTURER SHALL PROVIDE HEEL AS REQUIRED TO	MAINTAIN A CONTINUOUS ROOF PLANE ALIGNMENT. Section 6 - B FINISH Carpentry: Mill Model - Manifeactride Mill Model and Caremody ded Manila	OF MILLWORK AND WOODWORK INSTITUTE OF CALIFORNIA, OF MILLWORK AND WOODWORK INSTITUTE OF CALIFORNIA, CUSTOM GRADE UNLESS NOTED OTHERWISE. INSTALLATION: INSTALL ALL SHELVING, CASEWORK, MILLWORK,	DOORS, HARDWARE, RAILING, TRIM, COUNTERS, UTILITY BACKBOARDS AND OTHER FINISH CARPENTRY.	▰▤▨	SECTION 7-A ROOFING AND MEMBRANES: SCOPE: FURNISH AND INSTALL ROOFING AND WATERPROOFING WORK COMPLETE INCLUDING CANT STRIPS AND INCORPORATING OTHER	TRADES FLASHING, SLEEVES AND JACKS. INSTALLATION: INSTALL ROOFING AND ALL CORROSION RESISTANT METAL EL AGHING PER MANIFACTURER'S RFCOMMENDATIONS INCLUDING	MELAL FLADHING FER MANUFACIONER'S RECOMMENDATIONS INCLUDING THE USE OF FASTENERS AND ANCHORING DEVICES IN HIGH MIND AREAS, AND PER CBC, CHAPTER I5, CAREFULLY INCORPORATING FLASHING SCUPPERS, JACKS, SLEEVES, ROOF DRAINS, SKYLIGHTS, ETC., SUPPLIED BY OTHERS.	ROOFING CONTRACTOR SHALL BE RESPONSIBLE FOR THE WEATHER-TIGHT INTEGRITY OF THE ENTIRE ROOFING SYSTEM, INCLUDING , BUT NOT LIMITED TO : MEMBRANES ,ROOFING, WALL/ROOF FLASHINGS, JACKS, VENTS, UNDERLATMENT AND SHEATHING.	
CLUDED IN THE STRUCTURAL DRAWINGS AL SOILS REPORT. URAL DRAWINGS FOR MOLDS, GROOVES, INDS REQUIRED TO BE CAST IN ONS OF FLOOR FINISHES AND SLAB	AR A	5 SECTION IN CONFORMANCE WITH THE EOLOGICAL REPORTS AND APPROVED AS ACCEPTED BY THE BUILDING	WINGS AND NOTES.) IMMEDIATELY ADJACENT TO OPED AWAY FROM THE BUILDING AT A DISTANCE OF 10 FEET MEASURED OF THE WALL. IF PHYSICAL OBSTRUCTIONS	T OF HORIZONIAL VIDIANCE, A 220 O AN APPROVED ALTERNATIVE AWAY FROM THE FOUNDATION. SWALES L BE SLOPED A MINIMUM OF 2% T OF THE BUILDING FOUNDATION.	OF 2% AWAY FROM THE BUILDING.	RAMINGS BY OTHERS FOR CONCRETE .5 AND EMBEDMENTS TO BE USED	DEFINITION OF THE SUBCONTRACTOR TO ES WHETHER SHOWN HEREON OR FROM DAMAGE. THE SUBCONTRACTOR OF REPAIR OR REPLACEMENT IN SUTIONS OF THIS WORK.	PECT FOUNDATION PRIOR TO POURING BEARING PRESSURE AS RECOMMENDED	10 BE MINIMUM & INCH (& INCH-HUL)) COUNTY APPROVED TRUSS PLANS ON THE SPECTION.	K AND NONSTRUCTURAL CONCRETE. DAYS, 7.5 GALLONS WATER MAXIMUM	50-12 and C595-12 type OR . D certified. USE type V cement .rete ratio of .45 E concentrations of more than 0.2	CONCRETE (REFER TO SOILS REPORT). URCES, CLEAN AND FREE FROM ALL JUS MATERIALS. ASTM C330-69 AND C332-66.	EGATES: ASTM C-3371A. 60, C494-71 AND C618-77. VSTALLED PER MFR'S SPECS. A PROPER 19ROOF MEMBRANE, SUBSURFACE	BACKFILL(OR DRAIN SCREEN) TEEL:	HALL COMPLY WITH THE REQUIREMENTS 36 CODE.	DNRY 10 / "STUCCO" STONE:	EER SHALL BE INSTALLED PER IRY AND PAVERS: IITH CBC CHAPTER 21.	omply with CBC chapter 14. Ccurately Placed, and Held In	E ONE INCH MORTAR BETWEEN MASONRY VETAL LATH" AS MANUFACTURED XM INT'L.	ALS, STRUCTURAL AND MISC.	AND STRUCTURAL METALS: ALL COMPLY WITH A.I.S.C. "MANUAL OF	T EDITION, UNLESS MORE EXACTING ED IN THE CONTRACT DOCUMENTS OR	SCELLANEOUS IRON SHALL CONFORM TO	URISDICTIONAL REQUIREMENTS.	PRAMINGS. PRAMINGS. FLLANEOUS METAL ITEMS AND THEIR	E NOT NECESSARILY INDIVIDUALLY TANT AND THOSE REQUIRING DETAILED 2. MISCELLANEOUS ITEMS NOT 3.HED AND INSTALLED IN ACCORDANCE WINGS AND SPECIFICATION AND AS	VORK. FOR SHALL SUBMIT SHOP DRAWINGS OF UILDER FOR REVIEM 1SUAL DESIGN CONCEPT PRIOR TO	

3. WHERE HARDBOARD SIDING IS USED FOR COVERING THE OUTSIDE OF EXTERIOR WALLS, IT SHALL CONFORM TO THE CBC, APPLICABLE EDITION, STATE AND LOCAL CODES. LAP SIDING SHALL BE INSTALLED HORIZONITALLY AND APPLIED TO SHEATHED OR UNSHEATHED WALLS. CORNER BRACING SHALL BE INSTALLED TO CONFORM WITH CBC REQUIREMENTS. A MEATHER-RESISTIVE BARRIER (15º BUILDING PAPER) SHALL BE INSTALLED UNDER LAP SIDING. ALL FASTENERS USED FOR THE ATTACHMENT OF SIDING. SHALL BE HOT DIPPED GALVANIZED STAINLESS STEEL, COPPER OR ALUMINUM.
NALL SIZE AND SPACING SHALL MEET CBC REQUIREMENTS AND SHALL PENETRATE FRAMING I 1/2 Inch. LAP SIDING SHALL MEET CBC REQUIREMENTS AND SHALL PENETRATE FRAMING I 1/2 Inch. LAP SIDING SHALL OVERLAP I Inch MINIMM AND BE NAILED THROUGH BOTH COURSES AND INTO FRAMING MEMBERS WITH NALS LOCATED 1/2 Inch FROM BOTTOM OF THE OVERLAPPED COURSE, OR TO MANUFACTURER'S SPECIFICATIONS.
BALCONT AND DECK.
BALCONT AND DECK.
BALCONT AND DECK STAIRWAYS AND SIMILAR SURFACES EXPOSED TO THE MEATHER SHALL SHALL BE FULLY PAINTED AND SEALED.
ALL EXTERIOR STAIRWAYS AND SIMILAR SURFACES EXPOSED TO THE WEATHER SHALL SHALL BE CONSTRUCTED WITH SUFICIENT SLOPE (MINIMM 3/8 Inch FER FOOT) TO ENSURE AND BALCONIES EXPOSED TO MEATHER SHALL BE CONSTRUCTED WITH SUFICIENT SLOPE. TO MATCH DETAIL AND SHALL BE FINISHED TRUE TO WALL CONDITIONS. DUTLOOKERS PROJECTED ES. PROVIDE SOLID : SUPPORT OF METAL AS NECESSARY FOR I CHANNELED OR CES. RIZONTAL MOOD TRIM V TO PROVIDE COMPLETE ONS. R OPENINGS EXPOSED TC MANNER AS TO MAKE TTER FLASHING SHALL BE ND VERTICAL SURFACE? OWN ON DRAWINGS BY D ATTACHMENT ON ALL ND MANUFACTURER OI LASHING SHALL BE THE R SHALL BE OF LACED ED MANNER WITH AN FELT EXTENDING 18 COPING OF APPROVE ING AND COPING, WHEN NO. 26 U.S. GAUGE TION 1503.3.3. ED FOR SHINGLES A NOT LESS THAN 26. FANT METAL DT LESS THAN 30# LEAST 12 inch VLL HAVE A SPLASH THE FLOW LINE IONS OF FLASHING 4 inch. inch WIDE, SWEATED 20ES NOT PROVIDE , SECTION SHALL BE NISISTENT WITH GOOD . FOLLOW SIDING , FELINES " Y VALLEY: DO NOT 25 , MIRE TIES , OR 19E CRIMPED EDGES > OVER VALLEY ED PER EPORT. m 116 mith a 4-inch ME FOR SOUTHERN RFACES.

E. BI-PASS MIRROR: AS SELECTED BY OWNER.

FOUNDATIONS: INSTALL AS INCLUDED IN THE STRUCTURAL D AND AS AMENDED BY THE FINAL SOILS REPORT. A. REFER TO THE ARCHITECTURAL DRAMINGS FOR MOLDS, 6 ORNAMENTS, CLIPS OR GROUDS REQUIRED TO BE CAST CONCRETE AND FOR LOCATIONS OF FLOOR FINISHES AND DEPRESSIONS. DIVISION 2: SITEWORK SECTION 2-A EARTHWORK: GECTION 2-A EARTHWORK. SECTION 2-A EARTHWORK IN THIS SECTION IN CONFORMANCE M FINAL SOILS COMPACTION, GEOLOGICAL REPORTS AND APP ENGINEERED GRADING PLAN AS ACCEPTED BY THE BUILD DEPARTMENT.	SECTION 2-A GRADING: A. SEE CIVIL ENGINEERING DRAWINGS AND NOTES. B. SITE GRADING. THE GROUND IMMEDIATELY ADJACENT TO THE FOUNDATION SHALL BE SLOPED AMAY FROM THE BUILDIN SLOPE OF 5% FOR A MINIMUM DISTANCE OF 10 FEET MEASURE PERPENDICULAR TO THE FACE OF THE WALL. IF PHYSICAL OE OR LOT LINES FROHIBIT IO FEET OF HORIZONTAL DISTANCE, SLOPE SHALL BE PROVIDED TO AN APPROVED ALTERNATIVE METHOD OF DIVERTING WATER AMAY FROM THE FOUNDATION USED FOR THIS PURPOSE SHALL BE SLOPED A MINIMUM OF 2% WHERE LOCATED MITHIN IO FEET OF THE BUILDING FOUNDATION USED FOR THIS PURPOSE SHALL BE SLOPED A MINIMUM OF 2% MARTE LOCATED MITHIN IO FEET OF THE BUILDING FOUNDATION USED FOR THIS PURPOSE SHALL BE SLOPED A MINIMUM OF 2% DUTENCIOUS SURFACES MITHIN IO FEET OF THE BUILDING FOUNDATION USED FOR THIS PURPOSE SHALL BE SLOPED A MINIMUM OF 2% DUTENCIOUS SURFACES MITHIN IO FEET OF THE BUILDING FOUNDATION USED FOR THIS PURPOSE SHALL BE SLOPED A MINIMUM OF 2% DUTENCIOUS SURFACES MITHIN IO FEET OF THE BUILDING FOUNDATION OF SEC. IBO33.	GENERAL: A. REFER TO STRUCTURAL DRAMINGS BY OTHERS FOR C SPECIFICATIONS NOTES, DETAILS AND EMBEDMENTS TO BE I ON THIS PROJECT FOR STRUCTURAL SLABS AND FOOTINGS. B. IT SHALL BE THE RESPONSIBILITY OF THE SUBCONTRACT LOCATE ALL EXISTING UTILITIES WHETHER SHOWN HEREON NOT AND TO PROTECT THEM FROM DAMAGE. THE SUBCONTR SHALL BEAR ALL EXPENSE OF REPAIR OR REPLACEMEN CONJUNCTION WITH THE PROSECUTIONS OF THIS WORK. C. SOILS ENGINEER SHALL INSPECT FOUNDATION PRIOR TO P CONJUNCTION WITH THE PROSECUTIONS OF THIS WORK. C. SOILS ENGINEER SHALL INSPECT FOUNDATION PRIOR TO P CONJUNCTION WITH THE PROSECUTIONS OF THIS WORK. D. TOP OF CONCRETE SUBS TO BE MINIMUM 6 Inch (8 Inch-HI ABOVE FINISH GRADE. E. CONTRACTOR SHALL HAVE COUNTY APPROVED TRUSS PLA JOB PRIOR TO FOUNDATION INSPECTION.	SECTION 3-A EXT. FLAT WORK AND NONSTRUCTURAL CONCRETE: 2,500 PSI AT 28 DAYS, 15 GALLONS MATER M CONCRETE: 2,500 PSI AT 28 DAYS, 15 GALLONS MATER M PER SACK OF CEMENT: (J.N.O.) PORTLAND CEMENT: ASTM CI50-12 AND C595-12 TYPE 1 C LOW ALKALI, MILL TESTED AND CERTIFIED. USE TYPE V CE AND MAXIMUM WATER TO CONCRETE RATIO OF 45 FOR SOIL CONTAINING SULFATE CONCRETE (REFER TO SOILS R MATER: FROM DOMESTIC SOURCES, CLEAN AND FREE FR ORGANIC OR OTHER DELETERIOUS MATERIALS. LIGHT WEIGHT AGGREGATES: ASTM C330-64 AND C332-66. SAND AND STRUCTURAL AGGREGATES: ASTM C-3371A. ADMIXTURE: PER ASTM C260-60, C444-11 AND C618-17. WATERPROOFING: SHALL DE INSTALLED FER MFR'S SPECS. SYSTEM SHALL INCLUDE WATERPROOF MEMBRANE, SUBSURFA FOUNDATION DRAIN, POROUS BACKFILL(OR DRAIN SCREEN) AND PROTECTION BOARD. SECTION 3 - B REINFORCING STEEL. MORKMANSHIP: ALL WORK SHALL COMPLY WITH THE REQU CAT FORMAN FIRE. ALL WORK SHALL COMPLY WITH THE REQU	SET FORTH IN THE CURRENT CBC CODE. DIVISION 4: MASONRY SECTION 4-A MANUFACTURED / "STUCCO" STONE: SECTION 4-B BRICK MASONRY AND PAVERS. A. MASONRY SHALL COMPLY WITH CBC CHAPTER 21. B. MASONRY VENEER SHALL COMPLY WITH CBC CHAPTER 14. C. REINFORCING SHALL BE ACCURATELY PLACED, AND H POSITION TOP AND BOTTOM. MASONRY VENEER: PROVIDE ONE INCH MORTAR BETMEEN VENEER AND "DIAMOND MESH METAL LATH" AS MANUFACTURE (OR TREE ISLAND MIRE) ICC ER # 2267 DIVISION 5: METALS, STRUCTURAL /	SECTION 5-A MISCELLANEOUS AND STRUCTURAL METALS: WORKMANSHIP: ALL WORK SHALL COMPLY WITH ALIS.C. "MAY STEEL CONSTRUCTION", LATEST EDITION, UNLESS MORE EXA REQUIREMENTS ARE SPECIFIED IN THE CONTRACT DOCUME STRUCTURAL DRAWINGS. MATERIALS: A. STRUCTURAL STEEL AND MISCELLANEOUS IRON SHALL CON ASTM A-36. (CBC 1809.3.1) B. DRYER VENT TO OUTSIDE AIR PER MANUFACTUR SPECIFICATIONS AND LOCAL JURISDICTIONAL REQUIREMENTS. PIPE: STANDARD STEEL PIPE-ASTM A53-64A, GRADE B SPECIFICATIONS AND LOCAL JURISDICTIONAL REQUIREMENTS. PIPE: STANDARD STEEL PIPE-ASTM A53-64A, GRADE B SPECIFICALLY NOTED ON THE DRAWINGS. MISCELLANEOUS ITEMS: MISCELLANEOUS METAL ITEMS AND RELATED COMPONENTS ARE NOT NECESSARILY INDIVI DESCRIBED THE MOST IMPORTANT AND THOSE REQUIRING D RELATED COMPONENTS ARE NOT NECESSARILY INDIVI DESCRIBED THE MOST IMPORTANT AND THOSE REQUIRING D RELATED COMPONENTS ARE NOT NECESSARILY INDIVI DESCRIBED THE MOST IMPORTANT AND THOSE REQUIRING D RELATED COMPONENTS ARE NOT NECESSARILY INDIVI DESCRIBED THE MOST IMPORTANT AND THOSE REQUIRING D REQUIRED TO COMPLETE THE WORK. SHOP DRAWINGS: CONTRACTOR SHALL SUBMIT SHOP DRAI DECORATIVE IRON MORK TO BUILDER FOR REVIEW FOR CONFORMANE WITH VISUAL DESIGN CONCEPT FRI FABRICATION.
NOTE: ERUCTURAL ENGINEERING DRAMINGS AND NOTES SHALL TAKE PRECEDENCE OVER ARCHITECTURAL GENERAL NOTES, WHICH ARCHITECTURAL GENERAL READES OF GENERAL BELIEVER AND NO ROVISION OF THE CONTRACT DOCUMENTS OF DELIGENCE INCOMENTING OF THE RADES OF SUBSTROM AND LIABILITY DIE TO REGLIERE I RADES OR SUBSTROM AND LIABILITY DIE TO REGLIERE I RADES OR SUBSTROM AND LIABILITY DIE TO REGLIERE I RADES OR SUBSTROM AND LIABILITY DIE TO	OF THE TRADE OR SUB. THE DRAWINGS AND SPECIFICATIONS REPRESENT THE FINISHED STRUCTURE. THE DESIGN ADEQUACY AND SAFETY OF ERECTION BRACING, SHORING, TEMPORARY SUPPORTS, ETC., IS THE SOLE STRUCTURAL ENGINEER. THE DUILDER/ OWNER IS RESPONSIBLE FOR THE STRUCTURAL ENGINEER. THE BUILDER/ OF THE APPLICATION OF ALL SHEAR WALLS, ROOT AND FLOOR DIAPHRAGMS AND FINISH MATERIALS. HE SHALL PROVIDE THE NECESSARY BRACING TO PROVIDE STABILITY PRIOR TO THE APPLICATION OF THE AFOREMENTIONED MATERIALS. OBSERVATION VISITS TO THE JOB STIE BY THE ARCHITECT/ENGINEER DO NOT INCLUDE INSPECTION OF CONSTRUCTION PROCEDURES. THE BUILDER IS SOLLETY RESPONSIBLE FOR ALL CONSTRUCTION METHODS AND FOR SAFETY CONDITIONS AT THE WORKSITE. THESE VISITS SHALL NOT BE CONSTRUED AS CONTINUOUS AND DETAILED INFERCION.	 BLI CODES HAVING JIRISDICTION SHALL BE OBSERVED STRICTLY IN THE CONSTRUCTION OF THE PROJECT INCLUDING ALL APPLICABLE CODES. BUILDER SHALL VERIFY ALL CODE REQUIREMENTS BEFORE THE COMBINISHERT OF CONSTRUCTION AND BRING ANY DISCREPANCIES BETWEEN CODE REQUIREMENTS AND THE CONSTRUCTION DISCREPANCIES BETWEEN CODE REQUIREMENTS AND THE CONSTRUCTION POCUMENTS TO THE ATTENTION OF THE ARCHITECT. A PARTIAL LIST OF APPLICABLE CODES IS LISTED ON THE COVER SHET SECTION I-C ERRORS AND OMISSIONS. BEROGET TO COMPRISION WHICH OCCUR IN CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT. FIRST BY PHONE OR BY FAX AND THEN IN MRITING. MRITTEN INSTRUCTIONS SHALL BE DOTAINED BEFORE PROCEEDING MITH THE MORK THE BUILDER OR SUB SHALL BE HELD RESPONSIBLE FOR THE RESULTS OF ANY ERRORS, DISCREPANCIES OR OMISSIONS OF WHICH THE BUILDER OR SUB FAILED TO NOTIFY THE ARCHITECT BEFORE CONSTRUCTION AND/OR FABRICATION OF THE MORK. 	THE BUILDER AND SUBCONTRACTOR SHALL VERIEY ALL DIMENSIONS AND JOB CONDITIONS AT THE JOB SITE SUFFICIENTLY IN ADVANCE OF WORK TO BE PERCHED TO ASSURE THE ORDERLY PROGRESS OF THE MORK. THE ARCHITECT OR ENGINEER SHALL BE NOTIFIED OF ANY DISCREPANCY BY PHONE, FAX AND WRITTEIN MESSAGE. NOTED DIMENSIONS TAKE PRECEDENCE OVER SCALE. THE BUILDER OR SUBCONTRACTOR SHALL REPORT TO FROLECT SUPERINTENDENT ALL CONDITIONS MHCH PREVENT THE PROPER EXECUTION OF THEIR MORK. NOTED DIMENSIONS TAKE DRAWN TO THE SCALE OF 1/4" = 1'-0" SUPERINTENDENT ALL CONDITIONS MHCH PREVENT THE PROPER EXECUTION OF THEIR MORK. NOTES IT IS NOTED OTHERWISE. ROOP PLANS SHOM ON THE ELEVATION SHEETS ARE 10°-1'-0". DETAILS ARE NOT TO ANY GIVEN SCALE SECTION I-E KNOWLEDGE TO COMPLETE CONSTRUCTION. THE SCOPE OF THIS SET OF PLANS IS SUFFICIENT TO OBTAIN A BUILDING PERMIT. HOWEVER, ALL MATERIALS AND METHODS OF CONSTRUCTION NECESSARY TO COMPLETE CONSTRUCTION ARE NOT NECESSARLY DESCRIBED. THE PLANS DELINEATE AND DESCRIBE ONLY LOCATIONS DIMENSIONS, TYPES OF MATERIALS AND METHODS OF CONSTRUCTION NECESSARY TO COMPLETE CONSTRUCTION ARE NOT NECESSARLY DESCRIBED. THE PLANS DELINEATE AND DESCRIBE ONLY LOCATIONS DEADNESS OF MATERIALS AND METHODS OF CONSTRUCTION NECESSARY TO COMPLETE CONSTRUCTION ARE NOT NECESSARLY DESCRIBED. THE PLANS DELINEATE AND DESCRIBE ONLY LOCATIONS DEADNESS OF MATERIALS AND METHODS OF SECLIFY PARTICULAR PRODUCTS OR METHODS OF ASSEMBLY OF AND SECLIFY PARTICULAR PRODUCTS OR METHODS OF ASSEMBLY OF AND	REQUIRES A BUILDER AND/OR SUBCONTRACTOR THOROUGHLY KNOWLEDGEABLE WITH THE APPLICABLE BUILDING CODES AND METHODS OF CONSTRUCTION SPECIFIC TO THIS PRODUCT TYPE AND TYPE OF CONSTRUCTION SECTION 1-F CLEAN UP: SECTION 1-F CLEAN UP SPECIFIC TO THIS PRODUCT TYPE AND TYPE ALL TRASH, DEBRIS AND SHALL PROTECT ALL ADJACENT WORK FROM DAMAGE, SOILING, PAINT OVERSPRAY, ETC. ALL FIXTURES, EQUIPMENT, GLAZING, FLOORS, ETC. SHALL BE LEFT CLEAN AND READY FOR OCCUPANCY UPON COMPLETION OF THE PROJECT. GENERAL: A NOTES AND DETAILS ON DRAWINGS SHALL TAKE PRECEDENCE OVER THESE GENERAL NOTES. B. NAMED PRODUCTS: THE ARCHITECT MAKES NO GUARANTEE FOR PRODUCTS IDENTIFIED BY TRADE NAME OR MANUFACTURER. C. SCOPE: THE BUILDER AND SUBCONTRACTORS SHALL FUNCTION AND ATTERLE ON DRAWINGS SHALL TAKE PRECEDENCE OVER TRUDICTS IDENTIFIED BY TRADE NAME OR MANUFACTURER.	THE FLANS AND REASONABLY INFERRED OR REQUIRED BY THE APPLICABLE CODES. D. SUBSTITUTION: NO SUBSTITUTIONS SHALL BE MADE MITHOUT OWNER'S WRITTEIN AUTHORIZATION. ANY SUBSTITUTION SHALL BE MADE RNOWN TO OWNERROULDER AND ARCHITECT IN ADVANCE TO ANOTD ANY DELAY IN THE PROJECT SCHEDULE. THE GENERAL CONTRACTOR AND ANY SUBCONTRACTOR SHALL NOT MAKE STRUCTURAL SUBSTITUTIONS OR CHANGES WITHOUT PRIOR WRITTEN UNTIFICATION FROM THE STRUCTURAL ENGINEER AND WRITTEN MUTHORIZATION FROM THE STRUCTURAL ENGINEER AND WRITTEN UNTIFICATION TO THE ARCHITECT. E. CHANGES ANY ADDITION DELETION, OR CHANGE IN THE SCOPE OF THE WORK DESCRIBED BY THE PLANS SHALL BE PK WRITTEN CHANGE ORDER OLT. ANY APPROVAL FROM THE BUILDING OFFICIAL FOR A CHANGE IN THE MORY SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. THE WORK DESCRIBED BY THE PLANS SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. THE WORK DESCRIBED BY THE PLANS SHALL BE THE CHANGE ORDER OF THE MORY SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. THE MORY DESCRIPTION: OWNERS SHALL BE RESPONSIBLE TO THE MORY DESCRIPTION: OWNERS SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. THE MORY DESCRIPTION OF THE GENERAL OFFICIAL FOR A CHANGE IN THE APPROVED TO DESCRIPTION OF THE REAL CONTRACTOR. THE WORK DESCRIPTION OF THE READING THE MORY DESCRIPTION OF THE CASE TO DISTRUCTURAL OBSERVATION: OWNERS SHALL BE RESPONSIBLE TO THE MORY DESCRIPTION OF THE READING THE MORY DESCRIPTION OF THE READING DISTRUCTURAL OBSERVATION: OWNERS SHALL BE READON OF THE CASE TO DISTRUCTURAL OFFICE TO THE READING DISTRUCTURAL OFFICE TO THE READING DISTRUCTURAL OFFICE TO THE READING DISTRUCTURAL DESCRIPTION OF THE READING DISTRUCTURAL OFFICE TO THE RATE OFFICE DISTRUCTURAL READING DISTRUCTURAL OFFICE TO THE RATE OFFICE DISTRUCTURAL DESCRIPTION OF THE READING DISTRUCTURAL OFFICE TO THE READING DISTRUCTURAL OFFICE TO

Ē ľ×", Ë D. DIELECTRIC INSULATORS: EPCA DIELECTRIC UNIONS.

E. VENT PIPING: ABS D2661-68

SUBSTITUTE. OWNER SELECTED 6. ROOF FLASHINGS: SEE SECTION TB. F. VALVES, STOPS, CLOCKS:

SEE SECTION IO. H. FIXTURES AND FITTINGS:

J. DRAINS: SIZED AS REQUIRED. PROVIDE OVERFLOWS INDICATED ON DRAWINGS AND AS NECESSARY. I. PROVIDE RECESSED FAUCET BOX AT MASHER.

K. AIR CHAMBERS AT EACH END OF HEADERS, SHALL BE 36 INCH LONG, ONE PIPE SIZE LARGER THAN HEADER. INDIVIDUAL CHAMBERS SHALL BE 18 INCH LONG, ONE PIPE SIZE LARGER THAN BRANCH TO FIXTURE. ALTERNATE METHODS MUST BE DESCRIBED BY CODE AND APPROVED BY THE ARCHITECT / BUILDER. AS

CONFORM TO STATE ENERGY REGULATIONS L. WATER HEATERS SHALL AND SHALL BE CEC LISTED.

M. WATER HEATERS OVER 4' FEET HIGH MITH NON-RIGID WATER CONNECTIONS SHALL BE SECURED TO RESIST EARTHQUAKES, PER CMC REQUIREMENTS.

DIVISION 16: ELECTRICAL

CALCULATIONS AND DRAWINGS: CONTRACTOR TO SUPPLY AND SUBMIT TO THE BUILDING DEPARTMENT LOAD CALCULATIONS AND DRAWINGS FOR APPROVAL PRIOR TO COMMENCING WORK. SUBMIT ONE (1) SET TO THE ARCHITECT FOR REVIEW FOR CONFORMANCE WITH THE VISUAL DESIGN CONCEPT PRIOR TO COMMENCING WORK.

METERS: VERIFY ALL REQUIREMENTS WITH GOVERNING UTILITY COMPANY.

ELECTRICAL

SECTION 16-A

ARCHITECTS ELECTRICAL SYSTEM LAYOUTS ARE GENERALLY A DIAGRAMMATIC LOCATION OF OUTLETS AND EQUIPMENT IS APPROXIMATE. ACTUAL ROUTING OF MIRING, LOCATIONS OF OUTLET TO BE GOVERNED BY STRUCTURAL CONDITIONS AND CONSTRUCTIONS. WIRING FOR EQUIPMENT REQUIRING MAINTENANCE AND INSPECTION TO BE READILY ACCESSIBLE.

SCOPE: SUPPLY ALL LABOR, TRANSPORTATION, MATERIALS, ETC., FOR INSTALLATION OF COMPLETE ELECTRICAL SYSTEM TO OPERATE ACCORDING TO THE BEST PRACTICES OF THE TRADE AND INCLUDING, BUT NOT LIMITED TO FIXTURES, APPLJANCES, MIRING, SWITCHES, OTLETS, TELEVISION JACKS, SERVICES, GROUNDS, TEMPORARY POWER, JUNCTION BOXES, CONDUT, SUBPANELS, ETC. ALL WORK, MATERIALS, ETC. TO COMPLY WITH ALL REQUIREMENTS OF ALL LEGALLY CONSTITUED AUTHORITIES HAVING JURISDICTION INCLUDING ALL COUNTY AND STATE ORDINANCES. FURNISH AND INSTALL ELECTRICAL MORK COMPLETE AND OPERABLE. VERIFY ALL MATERIAL AND INSTALLATION REQUIREMENTS AND LIMITATIONS AT FIRE AND SOUND ASSEMBLIES.

STANDARDS:

ELECTRICAL SERVICES: UNDERGROUND. THE SERVING UTILITY MILL PROVIDE AND INSTALL ALL PRIMARY AND SECONDARY SERVICE RACEMAYS AND CONDUCTORS INCLUDING TRANSFORMER PADS AND CONNECTIONS TO THE LINE SIDE OF ALL BUILDING MAIN DISCONNECTS. RACEMAYS, SIZED AS DESIGNATED BY THE SERVICE UTILITY, SHALL BE PROVIDED BY THE ELECTRICAL CONTRACTOR FROM EACH BUILDING MAIN DISCONNECT TO THE EXTERIOR BUILDING LINE FOR CONTINUATION BY THE SERVICING UTILITY.

WORK AND EQUIPMENT SHALL BE IN ACCORDANCE WITH THE BEST PRACTICES OF THE TRADE AND CONFORM TO ALL LOCAL GOVERNING AGENCIES.

MATERIALS AND EQUIPMENT SHALL BE U.L. APPROVED

CORROSIVE PROPERTIES OF SOIL: FOLLOW ALL RECOMMENDATIONS IN THE FINAL SOILS REPORT FOR ALL MATERIALS PLACED WITHIN OR IN PROXIMITY OF SOIL AS NECESSARY.

∢ SHOULD A CONFLICT ARISE BETWEEN THIS SPECIFICATION, THE DRAWINGS OR ANOTHER ELECTRICAL SPECIFICATION ISSUED AS PART OF THESE DOCUMENTS, THE MORE STRINGENT SHALL PREVAIL

INSTALLATION:

A. PROVIDE SEPARATE CIRCUITS EACH FOR DISHWASHER, GARBAGE DISPOSAL, REFRIGERATOR, WASHER, DRYER, F.A.U. AND MICROWAVE OVEN.

OUTLETS SHALL BE 1/2 HOT.

B. SWITCHED

C. BATHROOM FANS: WHERE PERMITTED BY CODE, SWITCH FANS SEPARATELY FROM LIGHT. PROVIDE EXHAUST FANS AT TOILET ROOMS AND/OR AREAS WITH TUBS, SHOWERS OR OR SPAS WITH A MIN 50 CFM FAN. (CMC TABLE 4-4). ALL EXHAUST VENTS TO LEAD TO OUTSIDE AIR AND BE 3-0" MIN. FROM ANY OPENINGS OR PROPERTY LINES. (CMC 504.5)

D. ALL EQUIPMENT INSTALLED OUTDOORS AND EXPOSED TO WEATHER SHALL BE WEATHERPROOF.

E. PROVIDE GROUND FAULT CIRCUIT INTERRUPTERS, G.F.I., PROTECTION FOR PERSONNEL IN BATHROOMS, GARAGES, OUTDOORS, IN KITCHENS WHERE RECEPTACLES ARE INSTALLED TO SERVE COUNTERTOP SURFACES, AND WITHIN 6 FT. OF OUTSIDE EDGE OF A MET BAR SINK WHERE RECEPTACLES ARE INSTALLED TO SERVE COUNTERTOP SURFACES. (ART. 210.8 (A).

F. PROVIDE LOW VOLTAGE STUB OUT FOR HOUSE NUMBERS IF LOCAL CODE REQUIRES ILLUMINATION.

6. KITCHEN AND BATHROOM LIGHTING SHALL BE IN ACCORDANCE WITH STATE ENERGY MANDATORY REQUIREMENTS.

H. EACH CONDUCTOR OF EVERY SYSTEM SHALL BE PERMANENTLY TAGGED IN COMPLIANCE MITH O.S.H.A.

I. ALL CONDUIT SHALL BE INSTALLED CONCEALED WHERE PHYSICALLY POSSIBLE. ALL EXPOSED CONDUIT SHALL BE INTERMEDIATE METAL CONDUIT OR E.M.T. AND INSTALLED PARALLEL TO OR AT RIGHT ANGLES MITH THE BUILDING WALLS. IF VIEWED BY THE PUBLIC, PAINT TO MATCH SURFACE TO WHICH IT IS ATTACHED

J. THE COMPLETE ELECTRICAL SYSTEM SHALL BE GROUNDED IN ACCORDANCE WITH THE PRESENTLY ADOPTED EDITION OF THE 2007 CEC., ARTICLE #250.

K. PENETRATIONS TO FIRE-RATED MATERIALS SHALL BE RESTORED TO EQUAL RATING AS REQUIRED BY LOCAL ENFORCING AGENCY. FLAME SEAL AS MANUFACTURED BY NELSON ELECTRIC OR APPROVED EQUAL. ALL ELECTRICAL SYSTEM CONDUCTORS SHALL BE INSTALLED IN APPROVED RACEWAYS. NON-METALLIC, SHEATHED CABLE "ROMEX" IS NOT APPROVED FOR PENETRATIONS OF FIRE RATED ASSEMBLIES.

BEST L. USE ONLY COMPETENT AND SKILLED PERSONNEL AND PERFORM WORK, INCLUDING AESTHETIC AS WELL AS ELECTRICAL AND MECHANICAL ASPECTS TO STANDARDS CONSISTENT WITH THE BES PRACTICES OF THE TRADE.

M. ALL CONDUIT ONLY INSTALLATIONS SHALL HAVE A PULL WIRE OR ROPE. N. NO ALTERATIONS TO THE STRUCTURAL FRAME, DIAPHRAGMS, CONNECTIONS OR SHEAR PANELS SHALL BE MADE WHICH WOULD COMPROMISE THE DESIGNED STRUCTURAL INTEGRITY OF SUCH ELEMENTS WITHOUT PRIOR WRITTEN APPROVAL FROM THE STRUCTURAL ENGINEER.

EDGYK EZFARZA E DESIGN

INSTALLATION HEIGHTS: ALL HEIGHTS GIVEN ARE TO BOTTOM OF FIXTURE OR OUTLET.

A. EXTERIOR LIGHT FIXTURES TO BE +12 INCH FROM FINISH FLOOR UNLESS NOTED OTHERWISE.

D. ABOVE-COUNTER OUTLETS AT KITCHEN TO BE +44 INCH FROM FINISH FLOOR. C. TYPICAL WALL SWITCHES TO BE +36 INCH FROM FINISH FLOOR. B. TYPICAL WALL OUTLETS TO BE +12 INCH FROM FINISH FLOOR.

e. Above-counter outlets at bath to be +38 inch from finish Floor.

F. WALL OUTLET FOR RANGE HOOD TO BE +18 INCH FROM FINISH FLOOR.

6. SMOKE DETECTORS LOCATED PER CODE REQUIREMENTS.

H. DOOR CHIMES LOCATED WITHIN 12 INCH OF CEILING.

I. PUSH BUTTONS TO BE +36 INCH FROM FINISH FLOOR.

J. ABOVE-COUNTER OUTLETS AT LINEN OR OTHER MISCELLANEOUS COUNTERS TO BE +44 INCH FROM FINISH FLOOR. K. OUTLETS AT SERVICE AREAS TO BE +48 INCH FROM FINISH FLOOR.

L. THERMOSTATS TO BE AT +60 INCH FROM FINISH FLOOR.

M. WALL OUTLET FOR MICROWAVE/RANGE HOOD TO BE +78 INCH FROM FINISH FLOOR, WHEN THEY OCCUR.

0. STEP LIGHTS TO BE +6 INCH ABOVE SKIRT BOARD, WHEN THEY OCCUR. N. LIGHT BARS IN BATHROOMS TO BE +84 INCH FROM FINISH FLOOR, WHEN THEY OCCUR.

SIGNATURE

P. REFER TO LANDSCAPE DRAWINGS FOR ALL COMMON AREA WALLS AND EXTERIOR LIGHTING SURROUNDING BUILDING NOT INDICATED.

VERIFY AND LOCATE: ALL OUTLETS PRIOR TO INSTALLATION OF GYPSUM WALLBOARD. LOCATE ALL SWITCHES AND FIXTURES FROM FINISHED FLOOR PER ELECTRICAL PLANS AND NOTES.

MATERIALS:

A. SWITCHES: SILENT TYPE.

B. INTERIOR OUTLETS: DUPLEX TYPE, I5A, I25 VOLT.
 C. EXTERIOR OUTLETS: SINGLE MEATHERPROOF TYPE, G.F.I.

OUTLETS AND PULL BOXES: GALVANIZED OR SHEARARDI D.

E. PANEL BOXES: CIRCUIT BREAKER TYPE, RECESSED FLUSH MOUNTED, GALVANIZED AND PRIME COATED WITH LATCH. PROVIDE TYPEWRITTEN CARD IDENTIFYING CIRCUITS.

Р conduit, cable, wire: Per Presently adopted edition #E c.e.c. 6. FLUORESCENT TUBES AND BULBS: FULL SPECTRUM 3500K.

RECESSED INCANDESCENT LIGHT FIXTURES: IN THE PROXIMITY = ATTIC, CEILING OR FLOOR INSULATION SHALL BE 1.C.

I. ALL MATERIALS SHALL BE NEW AND OF THE SAME MANUFACTURER FOR EACH CLASS OR GROUP OF EQUIPMENT. MATERIALS SHALL BE LISTED AND APPROVED BY UNDERWRITER'S LABORATORIES AND SHALL BEAR THE INSPECTION LABEL WHERE SUBJECT TO SUCH APPROVAL. MATERIALS SHALL MEET WITH THE APPROVAL OF THE DIVISION OF INDUSTRIAL SAFETY AND ALL GOVERNING BODIES HAVING JURISDICTION. MATERIALS SHALL BE MANUFACTURED IN ACCORDANCE WITH APPLICABLE STANDARDS ESTABLISHED BY A.N.S.I., U.L., N.E.M.A. AND N.B.F.U. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.

J. CONDUCTORS SHALL BE CODE GRADE, 600 VOLT CLASS, COPPER, MARKED 24 INCH ALONG IT'S LENGTH SHOWING MANUFACTURER'S NAME, MAXIMUM ALLOWABLE VOLTAGE AND SIZE. CONDUCTORS SHALL BE TYPE "THMN" - WET. DELIVER THE WIRE TO THE SITE IN UNBROKEN PACKAGES.

K. IF ALUMINUM FEEDER CONDUCTORS ARE APPROVED FOR SUBSTITUTION, COPPER ONLY WITHIN UNITS, AND INSTALLED, FINAL CONNECTIONS TO VIBRATING EQUIPMENT SHALL BE COPPER ONLY AND ALL ALUMINUM TERMINATIONS SHALL BE MADE USING A "HYPRESS" TOOL OR OTHER MANUFACTURER'S RECOMMENDATIONS. PROVIDE ANTI-OXIDE COMPOUND ON ALL ALUMINUM TERMINATIONS. NO ALUMINUM CONDUCTOR SMALLER THAN #4 A M G

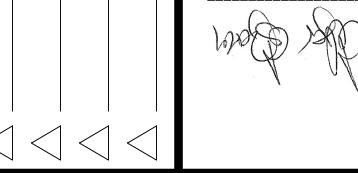
SIZE PER REQUIREMENTS, MINIMUM 200A, I INCH HOUSE SERVICE: DIA,, 3 M SERVICE.

COLORS AND DESIGN:

A. SWITCH PLATES, COVERS, ETC .: AS SELECTED BY OWNER. B. FIXTURES: AS SELECTED BY OWNER. FIRE WARNING SYSTEM: SMOKE DETECTORS AND ALARM SYSTEM SHALL BE HARD-WIRED WITH BATTERY BACK-UP POWER AND LOW BATTERY SIGNAL AND INSTALLED AS REQUIRED BY C.B.C. SEC. 907.2.10.2 DETECTORS SHALL BE PLACED IN CORRIDORS, ADJACENT ROOMS AND SLEEPING ROOMS - PER MANUFACTURER'S RECOMMENDATIONS. DETECTORS SHALL BE PLACED IN CLOSE PROXIMITY TO STAIRWAY WHEN BEDROOMS ARE LOCATED ON UPPER FLOOR. ALL DETECTORS SHALL BE INTERCONNECTED TO SOUND A SIMULTANEOUS ALARM - AUDIBLE IN ALL SLEEPING AREAS OF THE DWELLING UNIT. CBC SEC. 907.2.10.3

GOVERNING UTILITY METERS: VERIFY ALL REQUIREMENTS WITH COMPANY.

ELECTRICAL PLANS AND CALCULATIONS: SHALL BE DRAWN AND SUBMITTED BY THE ELECTRICAL SUBCONTRACTOR TO THE BUILDING DEPARTMENT FOR APPROVAL. SUBMIT ONE (1) SET TO THE ARCHITECT FOR REVIEW FOR CONFORMANCE WITH THE VISUAL DESIGN CONCEPT. ELECTRICAL SUBCONTRACTOR SHALL COORDINATE HIS DRAWINGS WITH THE ARCHITECTS.



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SECTION 10-A GENERAL SPECIALTIES SCOPE: FURNISH AND INSTALL COMPLETE IN WORKING ORDER THE ITEMS INDICATED ON THE DRAWINGS AND AS SPECIFIED HEREIN. THE GENERAL CONTRACTOR TO VERIFY COMPATIBILITY OF ALL ADJACENT FINISH MATERIALS WITH ALL SELECTED FIXTURES AND APPLIANCES. ALL FIXTURES AND APPLIANCES TO BE CEC CERTIFIED. DIVISION IO: SPECIALTIES APPLICATION: LAMINATE PLASTIC SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS. SPLASHES SHALL BE FULLY FORMED (U.N.O.). RANGE CUTS AND COUNTERS SHALL BE SELF-EDGED (U.N.O.). MATERIALS SHALL BE INDICATED ON INTERIOR ELEVATIONS. COLORS SHALL BE SELECTED BY COLOR COORDINATOR.

SCOPE: PROVIDE PAINTING WORK AS INDICATED AND SPECIFIED, COMPLETE INCLUDING PREPARATION OF SURFACES OTHER THAN THOSE THAT ARE FACTORY PRIMED.

SECTION 4-6 PAINTING AND FINISHING

BATH & PLUMBING ACCESSORI

A. EACH COAT SHALL BE UNIFORMLY APPLIED, WELL BRUSHED OUT AND FREE OF BRUSH MARKS, RUNS, SAGS OR SKIPS.

WORKMANSHIP:

B. LAVATORY: AS SELECTED BY BUILDER / OWNER.
C. TUB/SHOWER COMBINATION: AS SELECTED BY BUILDER / OWNER. PROVIDE WATER PROOF ENCLOSURE TO A MINIMUM 12" ABOVE THE TUB DRAIN.
D. MASTER BATHTUB: AS SELECTED BY BUILDER/OWNER 42 INCH X 60 INCH

A. WATER CLOSET: 1.6 GAL. AVE WATER CONSUMPTION. AS SELECTED BY OWNER. (CPC 402.2)

C. MIX AND APPLY PAINT AND STAINS IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS. B. PAINT FINISHES SHALL BE CUT SHARPLY TO LINE. PROTECT ADJACENT SURFACES.

E. SHOWER ENCLOSURE: SIZE AS INDICATED ON DRAWINGS. CERAMIC TILE SHOWER STALL OVER WATERPROOF MEMBRANE WITH FLOOR TO SLOPE TOWARDS FLOOR DRAIN WITH TEMPERED, SHATTERPROOF GLASS ENCLOSURE: CERAMIC TILE WALLS TO HEIGHT INDICATED ON INTERIOR ELEVATIONS, MINIMUM 72 INCH ABOVE DRAIN. (CPC-IAPMO STD IS-4-2003 ITEM 4.6) FRAME AS SELECTED BY OWNER, MINIMUM 72 INCH HIGH ABOVE DRAIN.

D. HARDWARE SHALL BE MASKED OR REMOVE PRIOR TO PAINTING OR STAINING. E. SUBCONTRACTOR WILL BE RESPONSIBLE FOR ANY DAMAGE RESULTING FROM OVERSPRAY, AND ALL NECESSARY CLEAN-UP.

F. MEDICINE CABINETS: MIRRORED DOOR, RECESS MOUNTED, TOP AT + 72 INCH.

A. SURFACES SHALL BE CLEAN AND DRY, AND IN SUITABLE CONDITION FOR FINISH SPECIFIED. REMOVE ALL OIL, GREASE, BOND BREAKING AGENTS, DUST, MILL SCALE AND EFFLORESCENCE.

F. SEMI-GLOSS PAINT TO BE ROLLER OR BRUSH APPLIED.

PREPARATION OF SURFACES:

G. WATER HEATER: AS SELECTED BY T-24, GAS, WITH PRESSURE/ TEMPERATURE RELIEF VALVE PIPED TO EXTERIOR OF BUILDING, WITH INSULATION BLANKET, ON MINIMUM 18 INCH HIGH PLATFORM AT GARAGE, WITH PAN AND DRAIN LINE TO OUTSIDE. FEUL BURNING EQUIPMENT TO OUTSIDE. FUEL BURNING EQUIPMENT LOCATED IN GARAGES AND SUBLECT TO MECHANICAL DAMAGE FROM THE NORMAL VEHICULAR PATH SHALL BE PROTECTED AS INDICATED IN DRAWINGS AND AS REQUIRED BY CMC 508.14. ALL TANK-TYPE WATER HEATERS SHALL BE SEISMICALLY PER CPC CHAPTER 5.

H. Shower head: As selected by Builder/owner, install min. 78 inch Above drain.

.. DISHWASHER: AS SELECTED BY BUILDER /OMNER, 24 INCH MIDE ERIFY.

KITCHEN FIXTURES AND APPLIANCES:

B. COOKTOP: GAS. AS SELECTED BY OWNER. 30 INCH WIDE WITH 30 INCH WIDE EXHAUST HOOD, 30 INCH ABOVE COOKTOP - VERIFY.

C. OVEN: 6AS. AS SELECTED BY BUILDER/OWNER. BUILT-IN DOUBLE OVENS: 30 INCH MIDE X 56 INCH HIGH - VERIFY.

CRACKS, HOLES, AND KNOTS SHALL BE FILLED, SANDED SMOOTH, ND SEALED. WOOD SURFACES, EXCEPT RESAMN WOOD, SHALL BE ANDED PERFECTLY SMOOTH. SANDING DUST SHALL BE OMPLETELY REMOVED.

A. SUBMIT LIST OF MATERIALS AND MANUFACTURERS FOR OWNERS AND ARCHITECTS REVIEM. B. ALL MATERIALS SHALL BE DELIVERED TO THE SITE IN ORIGINAL MANUFACTURER'S CONTAINERS.

C. STAIN SHALL BE SELECTED BY COLOR CONSULTANT OR BUILDERS SELECTED SUBSTITUTE. SEALED

D. PAINT SHALL BE MANUFACTURED BY "DUNN EDWARDS" OR OWNERS SELECTED SUBSTITUTE.

COLORS: TO BE SELECTED BY THE ARCHITECT, COLOR CONSULTANT, OR BUILDERS AGENT.

House Numbers: As selected by owner. Address tiles, 4 inch High Letters on contrasting Background. Color to Match Mailboxes: As selected by Builder/ owner. Mill be provided only If required by local code or ordinance.

TWO COATS

EXTERIOR PAINTING AND STAINING: A. EXTERIOR EXPOSED CONCRETE AND MASONRY: MASONRY PAINT.

FIREPLACES

EXPOSED METAL, INCLUDING VENT PIPES, EXHAUST VENTS, EATING AND AIR CONDITIONING UNITS, GRILLS, ETC. TWO DATS OF PAINT OVER ONE COAT OF PRIMER. COLOR TO MATCH DJACENT SURFACES. B. EXTERIOR WOOD, INCLUDING SIDING, GARAGE DOORS, RAILINGS, FASCIA, EXPOSED BEAMS, ALL TRIM, ETC., SHALL RECEIVE A MINIMUM OF ONE COAT OF PRIMER AND ONE TO TWO COATS FINISH, OR , AS SPECIFIED IN CONTRACT.

D. ALL EXPOSED EDGES OF TRIM TO BE SAME COLOR AS FACE.

SUBCONTRACTOR SHALL SEAL ALL SIX SIDES OF ALL DOORS.

E. NO THINNING OF MATERIAL SHALL BE ACCEPTABLE.

6. STUCCO ACCENTS PER COLOR SCHEDULE.

H. THE NUMBER OF COATS NOTED ABOVE SHALL BE CONSIDERED MINIMUM. APPLY ADDITIONAL COATS IF REQUIRED TO PROVIDE FULL AND EVEN COVERAGE THROUGHOUT.

DIVISION II: EQUIPMENT

I. FULLY SEAL AND PRIME ALL CUT ENDS OF WOOD MEMBERS IN CONTACT WITH OTHER WOOD MEMBERS.

INTERIOR PAINTING AND FINISHING:

A. CEILINGS AND MALLS:

Section IIA - Appliances and Special Equipment Measurements: Verify all dimensions shown on the drawings BY Taking Field Measurements, proper fit and attachment of All Parts is required. Notify Architect IF any Discrepancies Appear.

I) KITCHENS, NOOKS, BATHROOMS AND INTERIOR SERVICE ROOMS: ONE COAT SEALER AND ONE COAT SEMI-GLOSS ENAMEL, UNLESS NOTED OTHERWISE.

B. WARDROBES/CLOSETS: FINISH AS SPECIFIED FOR ADJOINING ROOM, EXCEPT SHELVING. 2) ALL OTHER ROOMS: ONE COAT SEALER AND ONE COAT FLAT PAINT, UNLESS NOTED OTHERWISE.

ONE COAT C. DOORS, FRAMES, WOOD BASE, SHELF CLEATS: ONE COAT PRIMER, ONE COAT SEMI-GLOSS ENAMEL.

DIVISION I5: MECHANICAL

SECTION I5-A HEATING

NOT INCLUDED IN THESE SPECIFICATIONS

E. STAINGRADE WOOD HAND RAILINGS, WOOD CAPS ETC.: ONE COAT STANDING SEALER, ONE COAT STAIN, TWO COATS LACQUER.

D. STAINGRADE CABINETS: ONE COAT SANDING SEALER, STAIN, TWO COATS LACQUER.

F. PAINT GRADE CABINETS, RAILINGS, WOOD CAPS ETC.: ONE COAT SEALER AND ONE COAT SEMI-GLOSS ENAMEL.

G. METAL SURFACES: PRIME AND PAINT SAME AS ADJACENT SURFACES.

SCOPE: SUPPLY ALL LABOR, TRANSPORTATION, MATERIALS, ETC., FOR INSTALLATION OF A COMPLETE HEATING AND AIR CONDITIONING SYSTEM TO OPERATE ACCORDING TO THE BEST PRACTICES OF THE TRADE INCLUDING, BUT NOT LIMITED TO: MECHANICAL UNITS, DUCTS, REGISTERS, CATWALKS, GRILLES, BOOTS, VENT PIPES, DAMPERS, CATWALKS, GRILLES, BOOTS, VENT PIPES, ALL DUCTS, REGUREMENTS OF ALL LEGALLY CONSTITUTED PUBLIC AUTHORITIES HAVING JURISDICTION INCLUDING ALL COUNTY AND STATE ORDINANCES. FURINGH AND INSTALL ALL EQUIPMENT COMPLETE AND OPERABLE. VERIFY ALL MATERIAL AND INSTALLATION REQUIREMENTS AND LIMITATIONS AT FIRE AND SOUND ASSEMBLIES. " ALL DUCTS SHALL BE SEALED WITH APPROVED MASTICS, TAPES, TO PROVIDE A SUBSTANTIALLY AIRTIGHT SYSTEM.

H. LUMINOUS CEILING RECESSES ARE TO BE PAINTED WITH ONE (I) COAT SEALER AND ONE (I) COAT WHITE ENAMEL HIGH GLOSS.

TO MATCH

I. ALL EXPOSED INTERIOR WOOD BEAMS TO BE PAINTED CEILING OR SOLID STAIN PER OWNER.

J. RESAMN AND ROUGHSAMN LUMBER

I) ALL ROUGHSAWN AND RESAWN SURFACES TO RECEIVE STAIN. COLOR AND FINISH TO BE APPROVED BY BY COLOR AND MATERIAL SPECIFICATION

INSTALLATION:

B. AN ATTIC FURNACE SHALL COMPLY WITH SECTION 904.11 OF THE CMC AND THE FOLLOWING:

A. FURNACE TO BE INSTALLED IN ATTIC AS REQUIRED BY THE CMC SEC. 431.0

Maximum duct leakage , both supply and return , shall not exceed 6 percent of the rated CFM volume per CEC sec. 144(k).

I) PROVIDE REQUIRED CLEARANCES FOR DUCT WORK AND TO COMBUSTIBLES.

2) PROVIDE MINIMUM 22 INCH X 30 INCH ATTIC ACCESS (BIG ENOUGH FOR LARGEST PIECE OF EQUIPMENT) OPENING AND PASSAGEWAY CONTINUOUS TO THE FURNACE AND ITS CONTROLS. (CMC 904.II.I) A 20 INCH X 30 INCH ACCESS OPENING MAY BE USED IF NO EQUIPMENT IS PROVIDED IN THE ATTIC SPACE (CBC 1209.2)

3) PROVIDE AN UNOBSTRUCTED CONTINUOUS SOLID FLOOR PASSAGEMAY NOT LESS THAN 24 INCH WIDE NOT TO EXCEED 20' FROM THE ATTIC ACCESS OPENING TO THE FURNACE. (CMC 904.11.2 \$ 904.11.3)

) PROVIDE A LEVEL WORKING PLATFORM 30 INCH DEEP (x MIN. 30 ICH WIDE) IN FRONT OF THE ENTIRE FIREBOX SIDE OF THE FURNACE ND TO ALL SERVICEABLE CONTROLS, FILTERS ETC. (CMC 904.11.4)

5) PROVIDE A PERMANENT ELECTRIC OUTLET AND SMITCHED LIGHT FIXTURE AT THE ENTRANCE TO THE PASSAGEMAY. (CMC 904.11.5)

NO ALTERATIONS TO THE STRUCTURAL FRAME, DIAPHRAGMS, DNNECTIONS OR SHEAR PANELS SHALL BE MADE WHICH WOULD DMPRISE THE DESIGNED STRUCTURAL INTEGRITY OF SUCH LEMENTS WITHOUT PRIOR WRITTEN APPROVAL FORM THE RUCTURAL ENGINEER.

B. FUEL BURNING EQUIPMENT LOCATED IN GARAGES AND SUBJECT TO MECHANICAL DAMAGE FROM THE NORMAL VEHICULAR PATH SHALL BE PROTECTED AS INDICATED IN DRAWINGS AND AS REQUIRED BY CMC 3003.1, CPC 5003.14 AND NFPA 54:41.10.2)

C. PROVIDE HIGH AND LOW COMBUSTION AIR IN ACCORDANCE WITH MANUFACTURER'S REQUIREMENTS AND CMC CHAPTER 7

D. DUCTS PENETRATING WALLS OR CEILINGS SEPARATING THE DWELLING UNIT FROM THE GARAGE SHALL BE CONSTRUCTED OF A MINIMUM 0.019 INCH SHEET STEEL AND SHALL HAVE NO OPENINGS INTO THE GARAGE PER CBC SECTION 406.1.4.

MATERIALS: A. DUCTS: CONSTRUCTED, INSTALLED AND INSULATED PER CHAPTER 6, CMC

B. DAMPERS: PROVIDE APPROVED AUTOMATIC FIRE DAMPERS OR MINIMUM 26 GAUGE CORROSION RESISTANT METAL MATERIAL MITH SEALED EDGES AT ALL DUCTWORK PENETRATING FIRE RATED MALLS, FLOORS OR CEILINGS AS REQUIRED AND ALLOWED BY THE CBC SECTION 716.5. ALL FAN SYSTEMS EXHAUSTING AIR FROM THE BUILDING ENVELOPE TO THE OUTSIDE SHALL BE PROVIDED WITH BACKDRAFT DAMPERS. FIRE DAMPERS SHALL BE INSTALLED IN ACCORDANCE W THEIR LISTING.

CALCULATIONS AND DRAWINGS: CONTRACTOR TO SUPPLY AND SUBMIT TO THE BUILDING DEPARTMENT, CALCULATIONS AND DRAWINGS FOR APPROVAL. SUBMIT ONE (I) SET TO THE ARCHITECT FOR REVIEW FOR CONFORMANCE WITH THE VISUAL DESIGN CONCEPT PRIOR TO COMMENCING WORK. EQUIPMENT SHALL COMPLY WITH STATE ENERGY REQUIREMENTS FOR EFFICIENCY. DUCT WORK "R" VALUE SHALL ALSO COMPLY WITH STATE ENERGY REQUIREMENTS.

SECTION IS-B PLUMBING

E. REFRIGERATOR: PROVIDE 39 INCH WIDE X 12 INCH HIGH SPACE-VERIFY

D. MICROWAVE OVEN: AS SELECTED BY OWNER.

F. SINK: DOUBLE SINK AS SELECTED BY BUILDER/ OMNER. WITH DISPOSAL: 42 INCH WIDE - VERIFY.

6. GARBAGE DISPOSAL: AS SELECTED BY BUILDER / OWNER. FINISH HARDWARE: AS SELECTED BY BUILDER/ OWNER.

SCOPE: SUPPLY ALL LABOR, TRANSPORTATION, MATERIALS, ETC., FOR INSTALLATION OF COMPLETE PLUMBING SYSTEM TO OPERATE ACCORDING TO THE BEST PRACTICES OF THE TRADE AND INCLUDING, BUT NOT LIMITED TO FIXTURES, HOT AND COLD WATER PIPING, EXHAUST FLUES, COMBUSTION AIR, GAS PIPING, LOG LIGHTERS, PIPING, EXHAUST FLUES, COMBUSTION AIR, GAS PIPING, LOG LIGHTERS, PIPE INSULATION, METERS, VALVES, VAULTS, ETC. ALL MATER PIPING, MORK, ETC., TO COMPLY MITH ALL REQUIREMENTS OF ALL LEGALLY CONSTITUTED PUBLIC AUTHORITIES HAVING JURISDICTION INCLUDING ALL COUNTY AND STATE ORDINANCES. FURNISH AND INSTALL PLUMBING WORK COMPLETE AND OPERABLE, INCLUDING TRENCHING AND BACKFILLING. VERIFY ALL MATERIAL AND INSTALLATION REQUIREMENTS AND LIMITATIONS AT FIRE AND SOUND ASSEMBLIES.

NSTALLATION:

FIREPLACES: ELEVATION AND SIZE AS DETAILED BY ARCHITECT, SEE DRAWINGS. PREFABRICATED METAL FIREBOX BY LENNOX, MERIT SERIES, ANSI 221.50 (OR APPROVED EQUAL) WITH APPROVED SPARK ARRESTER

THE SPARK ARRESTOR SHALL MEET THE FOLLOWING REQUIREMENTS: I. THE NET FREE AREA OF THE SPARK ARRESTER SHALL NOT BE LESS THAN FOUR TIMES THE NETFREE AREA OF THE OUTLET OF THE CHIMNEY

2. THE SPARK ARRESTER SCREEN SHALL HAVE HEAT AND CORROSION RESISTANCE EQUIVALENT TO 12 GAGE WIRE, 19 GAGE GALVANIZED WIRE OR 24 GAGE STAINLESS STEEL.

. OPENINGS SHALL NOT PERMIT THE PASSAGE OF SPHERES HAVING DIAMETER LARGER THAN 1/2 INCH AND SHALL NOT BLOCK THE ASSAGE OF SPHERES HAVING A DIAMETER OF LESS THAN 3/8 INCH.

4. THE SPARK ARRESTOR SHALL BE ACCESSIBLE FOR CLEANING AND THE SCREEN OR CHIMNEY CAP SHALL BE REMOVABLE TO ALLOM FOR CLEANING OF THE CHIMNEY FLUE. CBC 2802.1

A. ROUGHING-IN SHALL BE COMPLETED, TESTED AND INSPECTED AS REQUIRED BY CODE BEFORE CLOSING-IN WITH OTHER WORK.

ALL B. OPENINGS IN PIPES, DRAINS, AND FITTINGS SHALL BE KEPT COVERED DURING CONSTRUCTION. C. PROVIDE SOLID BACKING FOR SECURING FIXTURES. FIXTURES TO BE SET LEVEL.

D. PROVIDE CLEANOUTS AT ENDS OF ALL LINES AND WHERE REQUIRED BY CODES.

E. COPPER TUBING SHALL BE FULLY SMEATED TO FITTINGS. ALL COPPER PIPE CONNECTIONS TO FERROUS PIPING SHALL BE MADE WITH DIELECTRIC COUPLING OR ISOLATION FLANGES.

F. BLACK IRON AND GALVANIZED STEEL PIPE JOINTS SHALL BE MADE WITH APPROVED PIPE THREAD COMPOUND.

6. PROVIDE SHUT-OFF VALVES AT EACH FIXTURE.

H. PROVIDE CONDENSATE LINE AT EACH F.A.U. LOCATION. PROVIDE PRIMARY & SECONDARY CONDENSATE LINE TO AN APPROVED DRAINAGE RECEPTACLE AT ATTIC F.A.U. LOCATIONS.

₹ 2 I. PROVIDE COLD MATER LINE TO REFRIGERATOR SPACE RECESSED BOX OR IN CABINET IMMEDIATELY ADJACENT 1 REFRIGERATOR SPACE.

J. ALL VENTS TO LEAD TO OUTSIDE AIR, WHERE POSSIBLE, LOCATE ALL ROOF VENTS TO REAR SIDE OR RIDGES.

SPECIAL CONSTRUCTION

DIVISION 13:

DIVISION 12: FURNISHINGS

NIN THESE SPEC

DIVISION 14: CONVEYING EQUIPMENT

DND TATIONS

IN THESE SPEC

INCLUDED

K. ALL HORIZONTAL A.B.S. PIPING SHALL BE HUNG WITH APPROVED HANGERS AT 4' O" ON CENTER MAXIMUM AND SPACED TO PERMIT EXPANSION AND CONTRACTION WITHOUT HITTING ADJOINING PIPE. VERTICAL PIPING SHALL BE SUPPORTED AT 8' O INCH ON CENTER WITH WROUGHT STEEL "U" STRAPS SECURELY FASTENED TO BUILDING FRAME. ALTERNATE METHODS MUST BE BE DESCRIBED BY CODE AND APPROVED BY BUILDER / ARCHITECT.

L. PROVIDE AIR CHAMBERS AT LAVATORY, DISHWASHER AND CLOTHES WASHER WATER CONNECTIONS. SET VERTICALLY AS CLOSE TO THE FIXTURE AS FEASIBLE. 4. PROVIDE 3/4 INCH TEE FOR IRRIGATION AT MAIN SHUT-OFF.

Provide Mater Heater Seismic Restraints as required by ocal code.

. NO ALTERATIONS TO THE STRUCTURAL FRAME, DIAPHRAGMS, ONNECTIONS OR SHEAR PANELS SHALL BE MADE WHICH WOULD OMPROMISE THE DESIGNED STRUCTURAL INTEGRITY OF SUCH LEMENTS WITHOUT PRIOR WRITTEN APPROVAL FROM THE TRUCTURAL ENGINEER.

B. CLEANOUTS: OWNER SELECTED SUBSTITUTE.

A. CORROSIVE PROPERTIES OF SOIL: FOLLOW ALL RECOMMENDATIONS IN THE FINAL SOILS REPORT FOR ALL MATERIALS PLACED WITHIN OR IN PROXIMITY OF SOIL AS NECESSARY. MATERIALS:

C. DOMESTIC WATER PIPING: TYPE "L" OR "K" COPPER TUBING BELOW GRADE AND SLAB - VERIFY WITH SOIL COMPATIBILITY; ALL OTHER COPPER TUBING SHALL BE TYPE "M". FITTINGS -MROUGHT COPPER OR CAST BRONZE. USE NO-LEAD SOLDER.

DIVISION 4: FINISHES (CONT.)

SECTION 9-B GYPSUM WALLBOARD & CEILING BOARD SCOPE: FURNISH AND INSTALL ALL GYPSUM WALLBOARD WORK COMPLETE. VERIFY ALL SPECIALTY MATERIALS, NAILING AND INSTALLATION SEQUENCING AT SOUND/FIRE ASSEMBLIES AND STRUCTURAL SHEAR WALLS PRIOR TO COMMENCING WORK.

SECTION 4-F COUNTER TOPS

A. ALL WORK / ALL COMPLY WITH CHAPTER 25 OF THE CBC STANDARDS:

6YPSUM THE B. ALL WORK AND MATERIALS SHALL COMPLY WITH ASSOCIATION'S "RECOMMENDED SPECIFICATIONS FOR APPLICATION AND FINISHING OF GYPSUM WALLBOARD."

all workmanghip shall be inspected and approved by the Builder or Builders Representative. Special Finishes Shall Be pre-determined by contract with Builder and Sub. A. ALL JOINTS IN FINISHED SURFACES SHALL BE TAPED AND FINISHED WITH JOINT COMPOUND.

B. PROVIDE METAL TRIM AT ALL EXPOSED EDGES AND EXTERNAL CORNERS.

C. METAL TRIM SHALL BE TIGHT TO WALLBOARD EDGES, PLUMB, LEVEL AND TRUE TO PLANE, SECURELY ATTACHED.

D. CONCEAL EXPOSED NAIL OR SCREM HEADS WITH JOINT COMPOUND.

E. PROTECT ALL EXPOSED WOOD BEAMS, POST, RAILINGS ETC. 4

LL GYPSUM WALLBOARD AT TUBS TO BE INSTALLED IN SUCH A INER THAT THERE ARE NO SURFACES OUT OF ALIGNMENT WITH ACENT SURFACES AND THE TRUE PLANE OF THE WALL IS MAINTAINED.

MATERIALS:

GYPSUM WALLBOARD AND CEILING BOARD: 1/2 INCH THICK ROUGHOUT UNLESS NOTED OTHERWISE.

GYPSUM WALLBOARD AND CEILING BOARD: 5/8 INCH THICK, RE RATED "X" WITH TAPED JOINTS AT FIRE/SOUND RATED ALLS AS DETAILED AND AT OTHER WALLS AND CEILINGS WHERE THED ON DRAWINGS. PROVIDE MULTIPLE LAYERS AS DETAILED, TH NAILS SIZED ACCORDINGLY. REFER TO SHEET 63.

C. TRIM AND OTHER FINISH WORK SHALL BE PRIMED PRIOR TO INSTALLATION, TO MINIMIZE INCONSISTENT SHRINKAGE.

MATERIALS:

C. AT CEILINGS: PROVIDE 5/8 INCH GYPSUM WALLBOARD WHEN FRAMING SPACING EXCEEDS 16 INCH 0.C.

E. PROVIDE MATER RESISTANT GYPSUM BOARD UNDER TUB AND SHOWER ENCLOSURE MATERIALS TO A HEIGHT OF 70 INCHES MINIMUM ABOVE DRAIN INLET (CBC 1210.3). MAINTAIN GAP BETWEEN FACTORY EDGE AND ALL TUBS, SHOWER RECEPTORS TO ENSURE FULL SEALANT APPLICATION BY CERAMIC TILE INSTALLER. D. MOISTURE RESISTANT WALLBOARD AND CEILING BOARD: USE IN WET AREAS AS RECOMMENDED BY GYPSUM BOARD MANUFACTURER.

E. EXTERIOR USE: EXTERIOR GRADE FIRE RATED, FOR AREAS UBJECT TO MOISTURE AT FIRE ASSEMBLIES AS DETAILED.

6. METAL CORNER BEAD, CASING AND TRIM - GALVANIZED AND NAILED.

L-SHAPED TRIM AT EXPOSED EDGES TYPICAL.
 BULLNOSE CORNER BEAD AT EXTERNAL CORNERS

H. RESILIENT CHANNELS: PROVIDE AT FIRE/SOUND RATED FLOOR/CEILING ASSEMBLIES AS DETAILED.

I. TAPE AND COMPOUND: AS RECOMMENDED BY GYPSUM BOARD MANUFACTURER FOR USE SPECIFIED.

SECTION 4-C FLOORING:

SILIENT FLOORING

A. FURNISH AND INSTALL ALL RESILIENT FLOORING MATERIAL COMPLETE AS SCHEDULED.

A. SUBFLOORS SHALL BE CLEAN, FREE OF DUST AND DRY, LEVEL AND SMOOTH. Ŧ SHALL BE PRIMED AS RECOMMENDED BY

B. SURFACES SH MANUFACTURER.

C. MATERIALS SHALL BE APPLIED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.

D. ENSURE ADEQUACY OF FLOOR PLANE PRIOR TO INSTALLATION NOTIFY OWNER OF ANY SUBSTANDARD CONDITION PRIOR TO APPLICATION.

E. VERIFY ACCEPTABILITY OF CONCRETE SURFACES FOR ALKALINITY PRIOR TO INSTALLATION.

Materials: A. VINYL Sheeting: As selected by owner. B. Adhesives: As recommended by the manufacturer of the Floor covering.

C. PROVIDE POSITIVE SLOPE AT TILE SEATS WITHIN SHOMERS AND AT FLOOR TOWARDS FLOOR DRAIN.

L THE UNLESS

NOTE: CHANGES IN FLOOR MATERIAL SHALL OCCUR AT CENTERLINE OF THE DOOR BETWEEN ADJACENT ROOMS, I INDICATED OTHERWISE ON PLANS.

SECTION 9-D TILE SCOPE: FURNISH AND INSTALL TILE, GROUT, MASTIC, MORTAR, SEALER ETC. COMPLETE. WORK SHALL BE CLEAN, PLUMB, LEVEL, EXCEPT AT AREAS INTENDED TO DRAIN, TRUE TO LINE WITH CONSISTENT JOINTS.

NSTALLATION

A. TILE ON FLOOR, SLAB OR WOOD FRAME SHALL BE INSTALLED PER THE CERAMIC TILE INSTITUTE STANDARDS AND TILE COUNCIL OF AMERICA.

. INSTALL MUD SET TILE AT COUNTERS, TUBS AND SHOWERS PER HE CERAMIC TILE INSTITUTE AND TILE COUNCIL OF AMERICA TANDARDS.

PROVIDE WATERPROOF MEMBRANE BENEATH TILE OVER WATER ESISTANT BACKING BOARD AS RECOMMENDED BY MANUFACTURER UD CERAMIC TILE INSTITUTE AND TILE COUNCIL OF AMERICA ANDARDS AT ALL AREAS SUBJECT TO MOISTURE AND WATER E, TUBS/SHOMERS".

MATERIALS:

A. TILE AND GROUT AS SELECTED BY BUILDER.

B. INSTALLATION OF GROUTED TILE FLOORING IS NOT RECOMMENDED OVER WOOD FRAMED FLOOR SYSTEMS.

SECTION 9-E LAMINATE PLASTIC FINISHES

LAMINATE PLASTIC: FORMICA, WILSON ART OR NEVAMAR. 1/167H INCH GENERAL PURPOSE GRADE 10.

K. THE NUMBER OF COATS NOTED ABOVE SHALL BE CONSIDERED MINIMUM. APPLY ADDITIONAL COATS IF REQUIRED TO PROVIDE FULL AND EVEN COVERAGE THROUGHOUT. 2) DO NOT PRIME UNLESS NOTED ON PLANS.

R-3 OCCUPANCY (DWELLING) TO U OCCUPANCY (PRIVATE GARAGE) SEPARATION

occupancy separations shall be vertical or horizontal or both or, when necessary, of such other form as may be required to afford complete separation between the various occupancy divisions in the building. Where the occupancy separation is horizontal. Structural members supporting the separation shall be protected by equivalent fire resistive construction. (CBC 106.5)

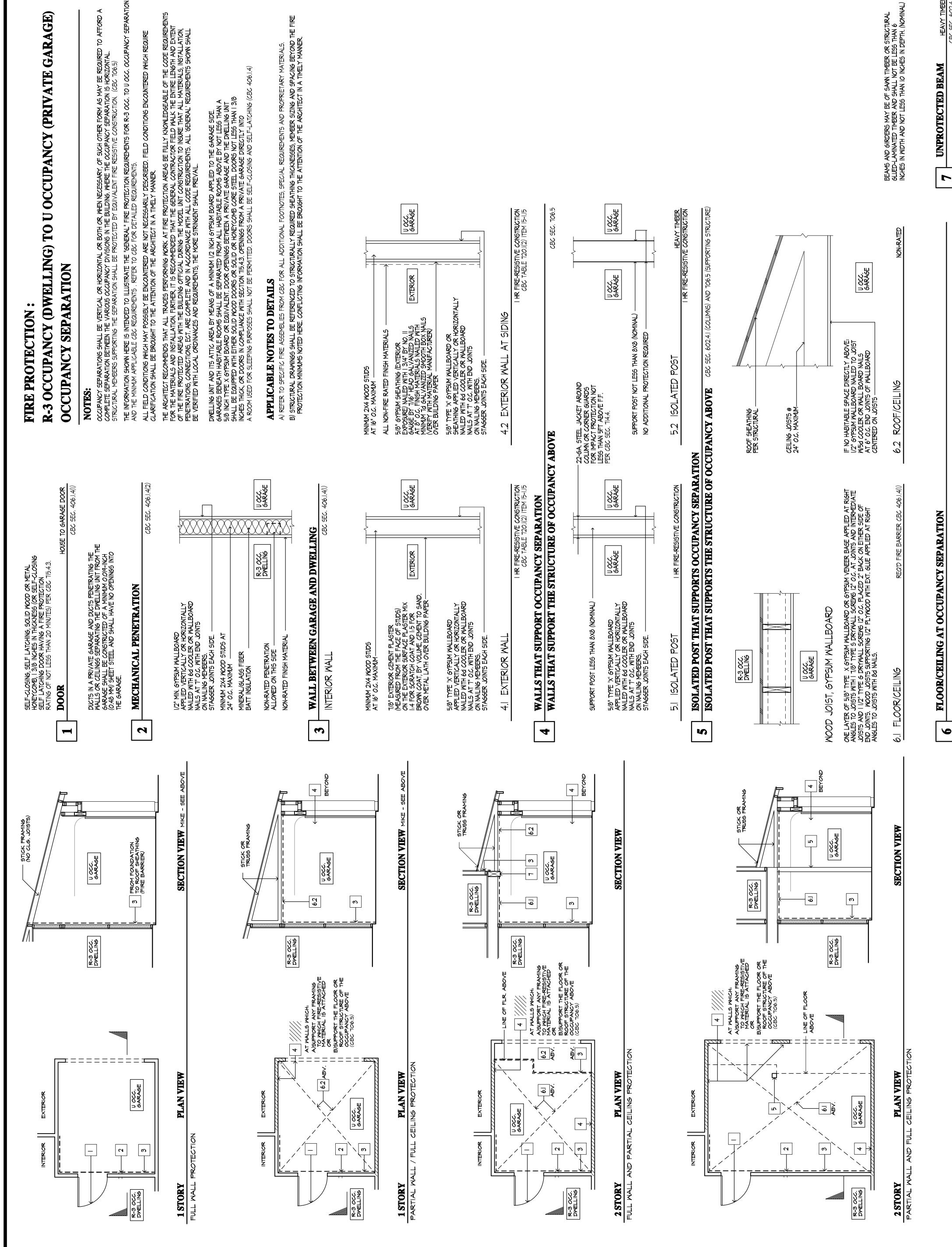
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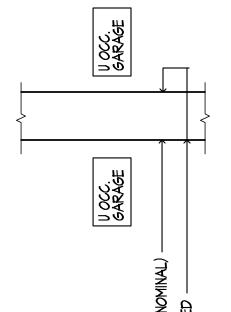
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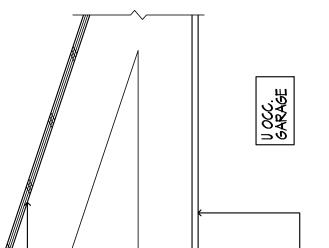
THE ARCHITECT RECOMMENDS THAT ALL TRADES PERFORMING MORK AT FIRE PROTECTION AREAS BE FULLY KNOWLEDGEABLE OF THE CODE REQUIREMENTS FOR THE MATERIALS AND INSTALLATION. FURTHER, IT IS RECOMMENDED THAT THE GENERAL CONTRACTOR FIELD WALK THE ENTIRE LENGTH AND EXTENT OF THE FIRE PROTECTED AREAS WITH THE BUILDING OFFICIAL DURING THE MODEL UNIT CONSTRUCTION TO INSURE THAT ALL MATERIALS, INSTALLATION, PENETRATIONS, CONNECTIONS, ECT. ARE COMPLETE AND IN ACCORDANCE WITH ALL CODE REQUIREMENTS. ALL 'GENERAL' REQUIREMENTS SHOWN SHALL BE VERIFIED WITH LOCAL ORDINANCES AND REQUIREMENTS, THE MORE STRINGENT SHALL PREVAIL.

DWELLING UNIT AND ITS ATTIC AREA BY MEANS OF A MINIMUM 1/2 INCH GYPSUM BOARD APPLIED TO THE GARAGE SIDE. GARAGES BENEATH HABITABLE ROOMS SHALL BE SEPARATED FROM ALL HABITABLE ROOMS ABOVE BY NOT LESS THAN A 5/8 INCH TYPE X GYPSUM BOARD OR EQUIVALENT. DOOR OPENINGS BETWEEN A PRIVATE GARAGE AND THE DWELLING UNIT SHALL BE EQUIPPED WITH EITHER SOLID WOOD DOORS OR SOLID OR HONEYCOMB CORE STEEL DOORS NOT LESS THAN I 3/8 INCHES THICK, OR DOORS IN COMPLIANCE WITH SECTION 715.4.3. OPENINGS FROM A PRIVATE GARAGE DIRECTLY INTO A ROOM USED FOR SLEEPING PURPOSES SHALL NOT BE PERMITTED. DOORS SHALL BE SELF-CLOSING AND SELF-LATCHING (CBC 406.1.4)

A) REFER TO SPECIFIC FIRE ASSEMBLIES FROM CBC FOR ALL ADDITIONAL FOOTNOTES, SPECIAL REQUIREMENTS AND PROPRIETARY MATERIALS.
B) STRUCTURAL DRAWINGS SHALL BE REFERENCED TO STRUCTURALLY REQUIRED SHEATHING THICKNESSES, MEMBER SIZING AND SPACING BEYOND THE FIRE PROTECTION MINIMUMS NOTED HERE. CONFLICTING INFORMATION SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IN A TIMELY MANNER.





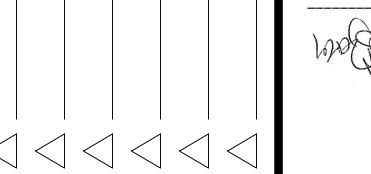


BEAMS AND GIRDERS MAY BE OF SAWN TIMBER OR STRUCTURAL GLUED-LAMINATED TIMBER AND SHALL NOT BE LESS THAN 6 INCHES IN MIDTH AND NOT LESS THAN IO INCHES IN DEPTH. (NOMINAL)



HEAVY TIMBER CBC SEC. 602.4.2

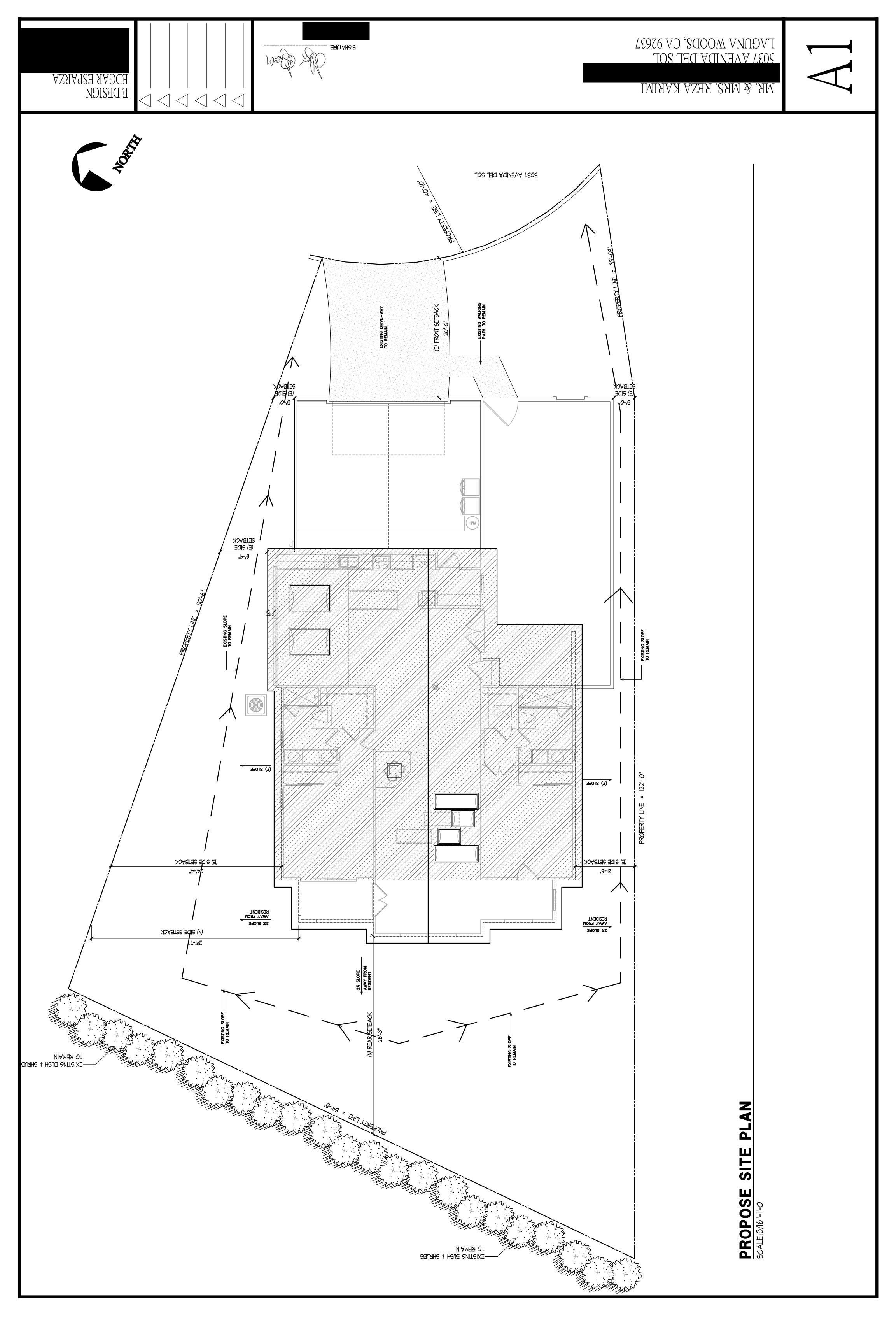
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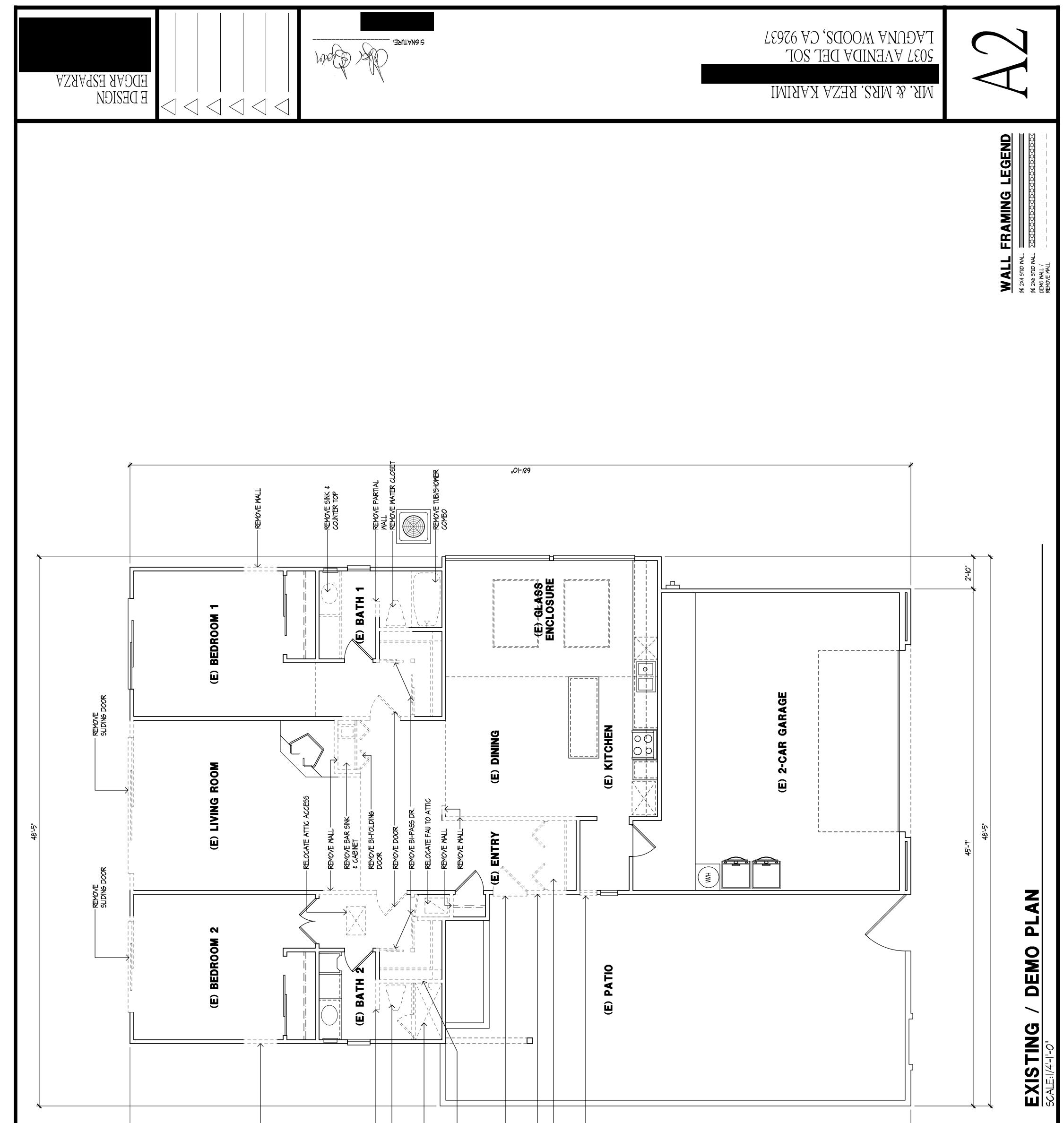




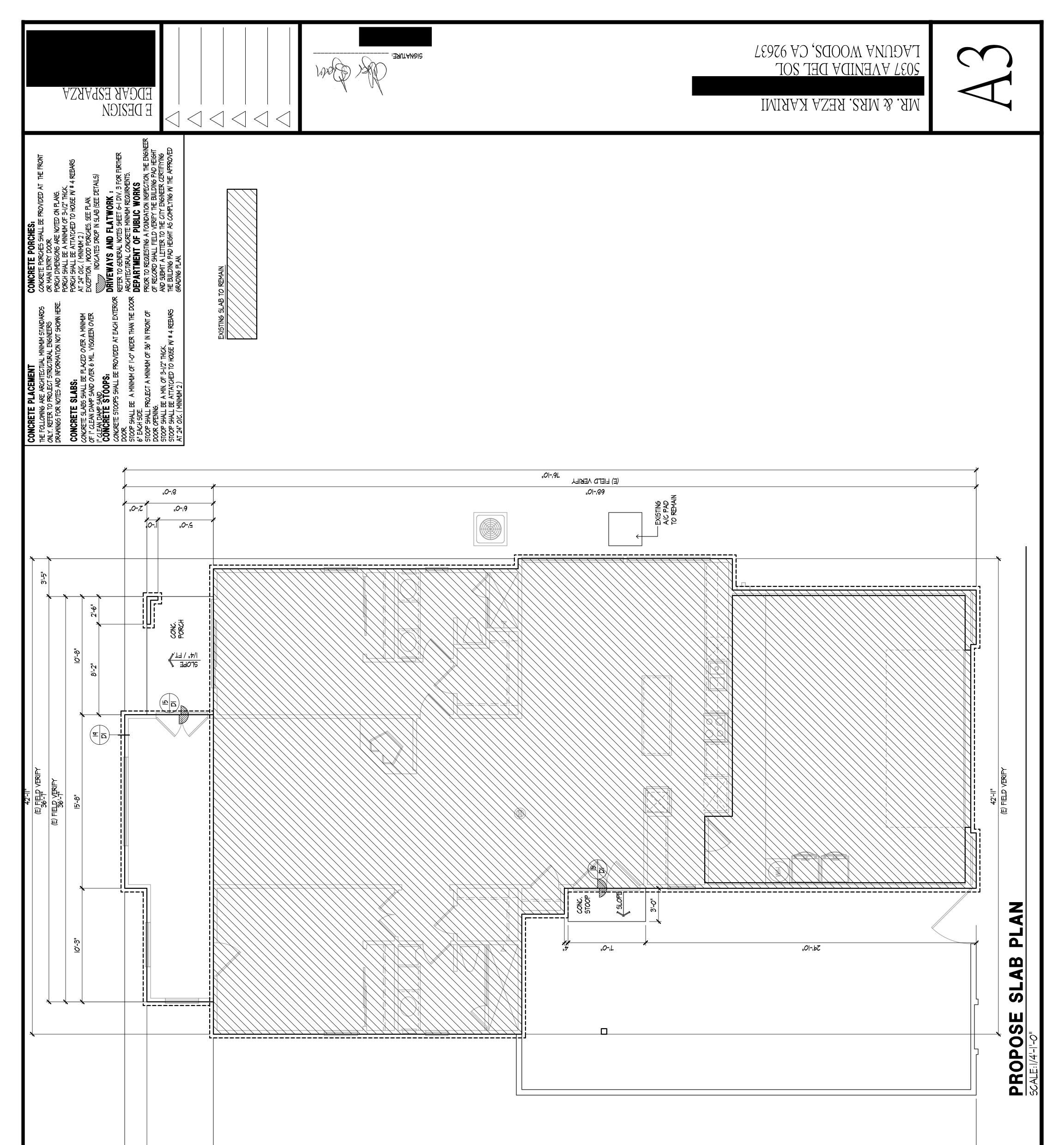
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MR. & MRS. REZA KARIMI



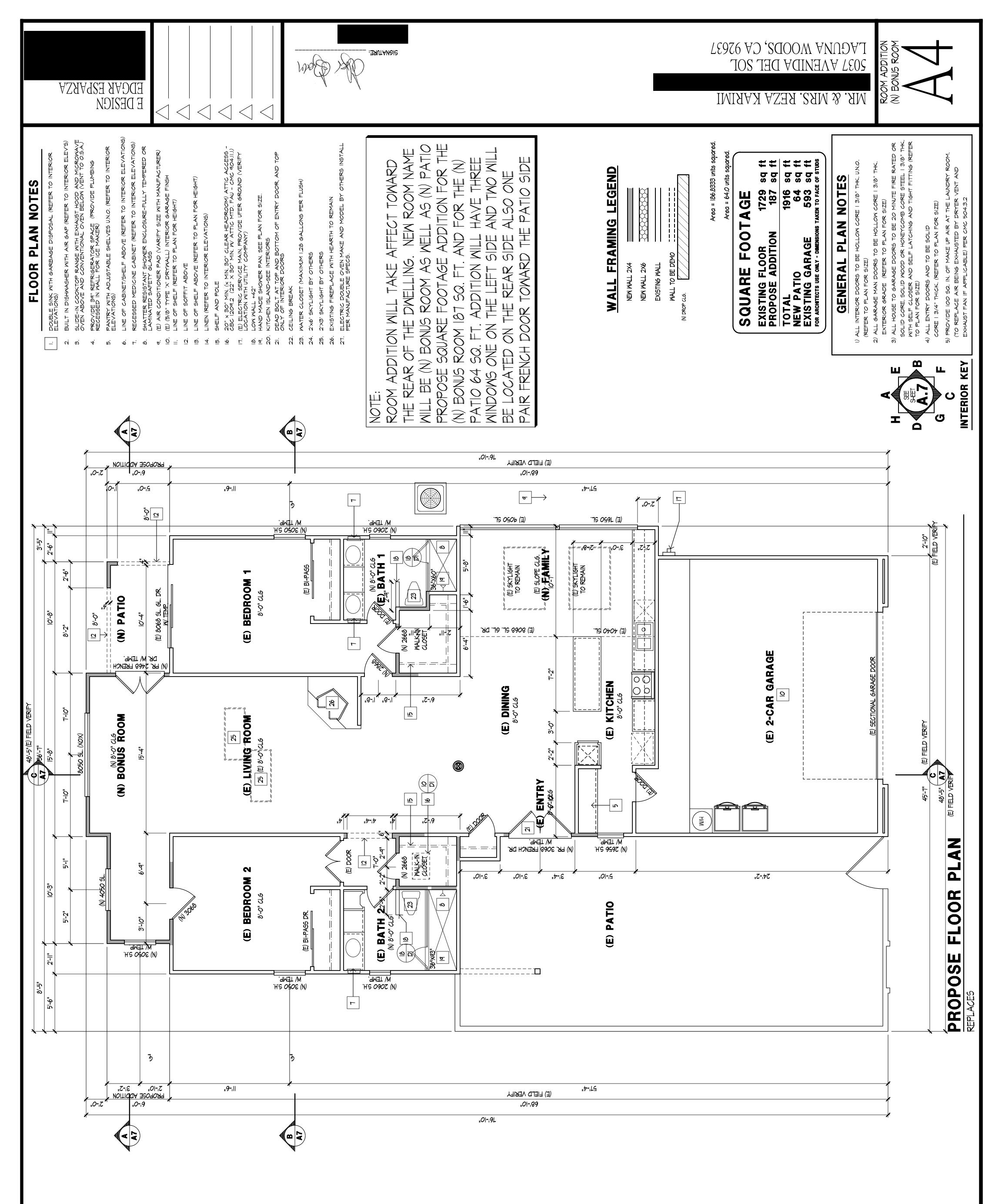


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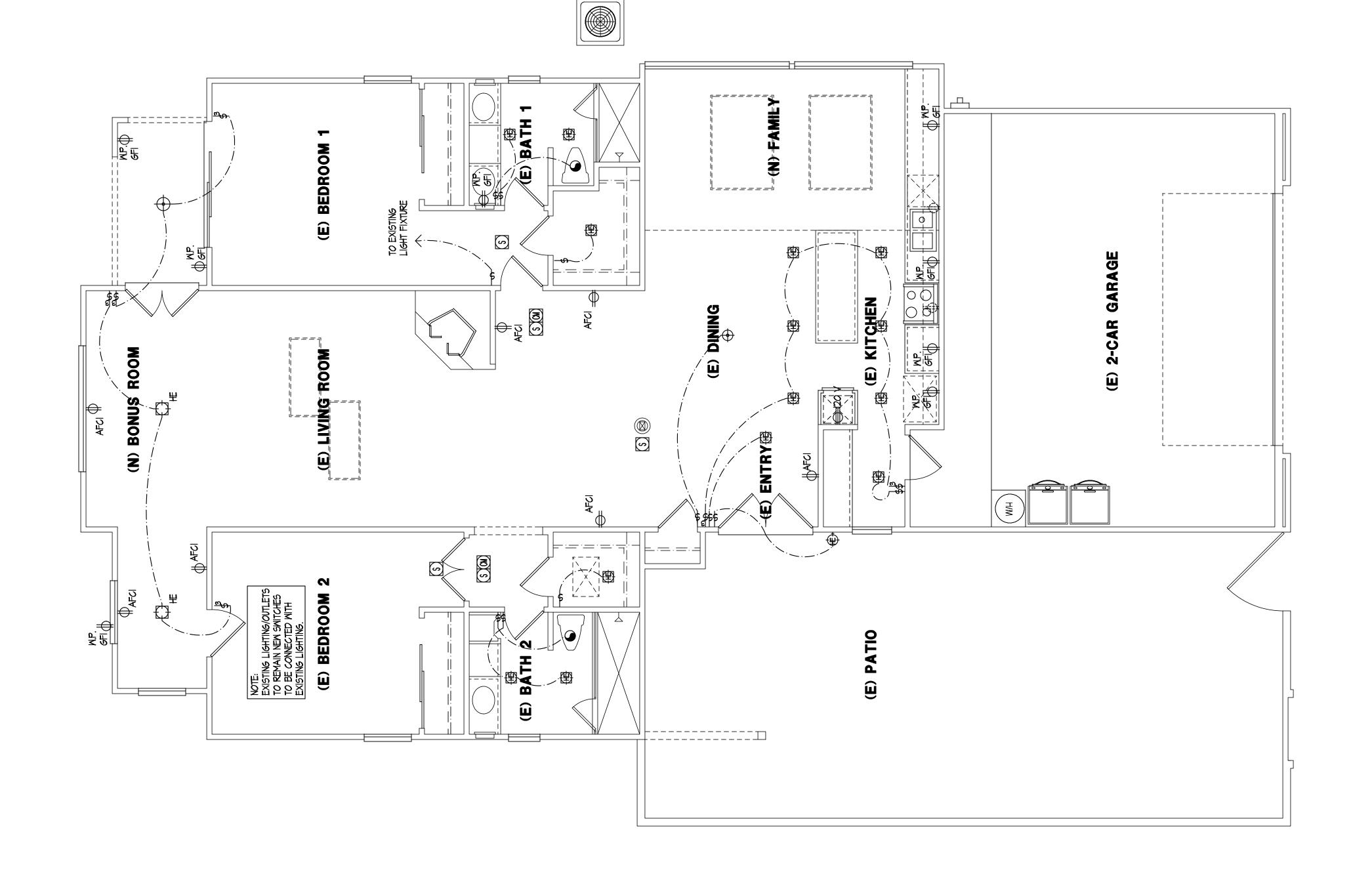


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PROPOSE UTLITY PLAN REPLACES

Agenda Item # 12 Page 16 of 27

	EDGAR ESPARZA E DESIGN		LAGUNA WOODS, CA 92637 5037 avenda del sol	A6
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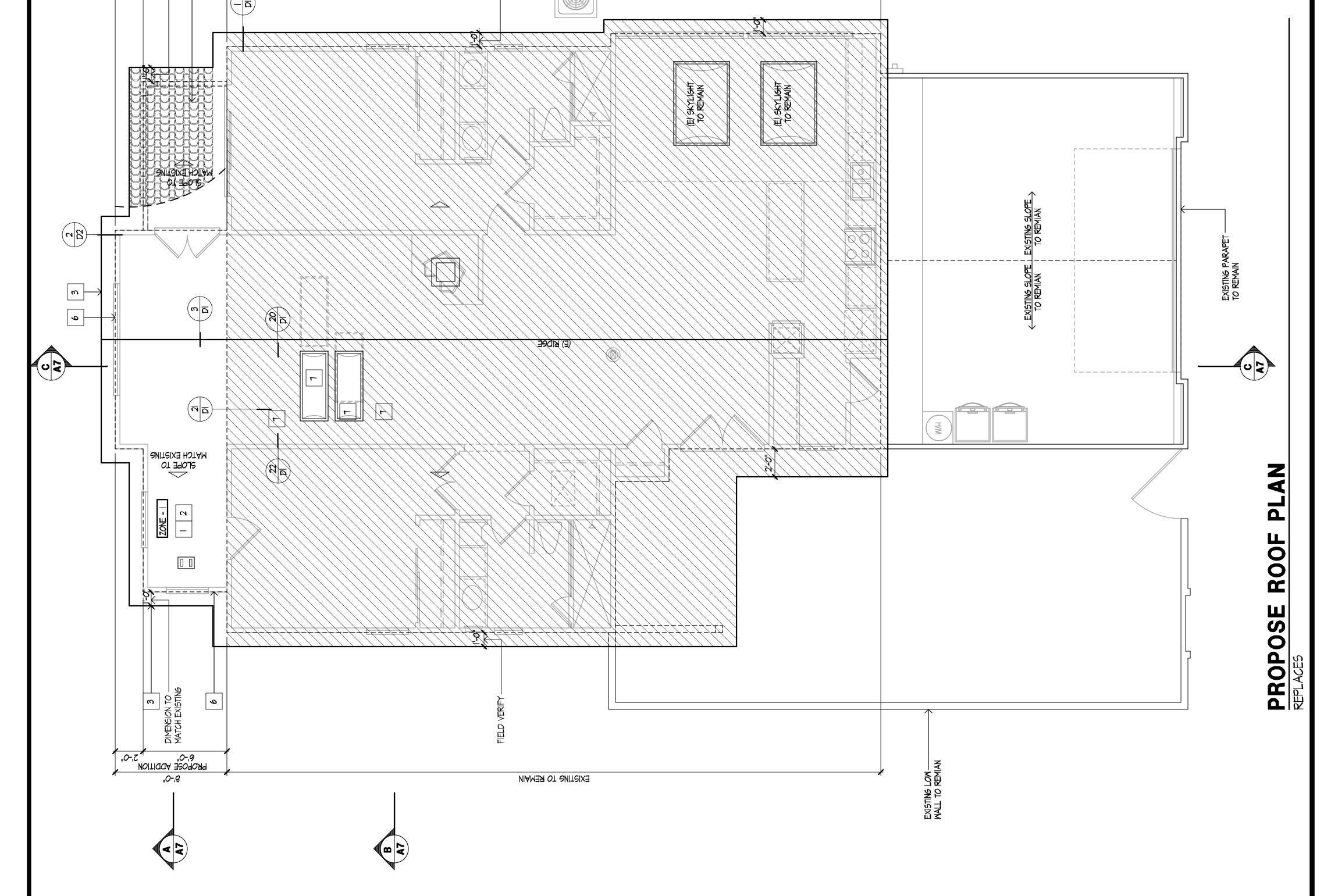
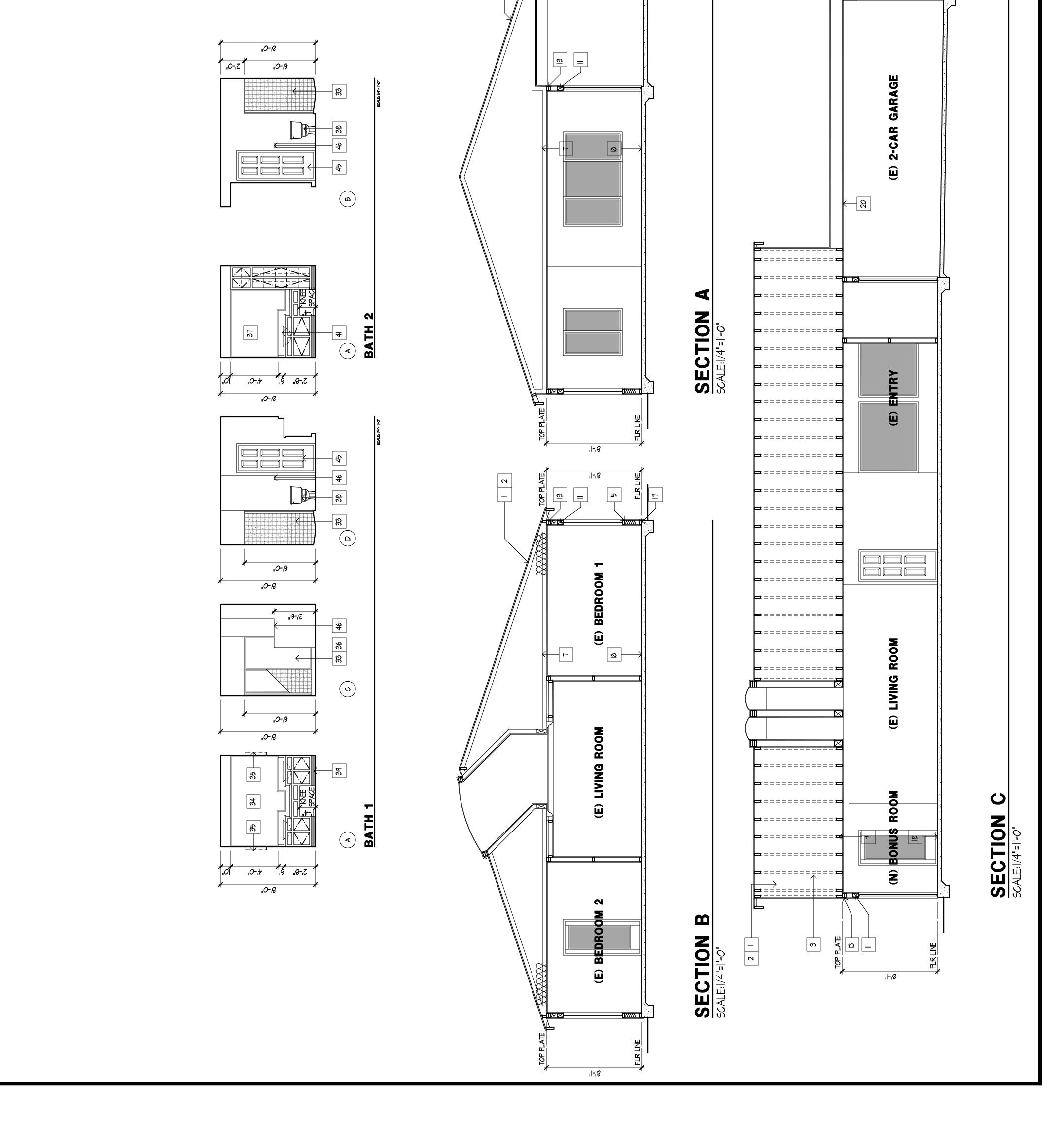
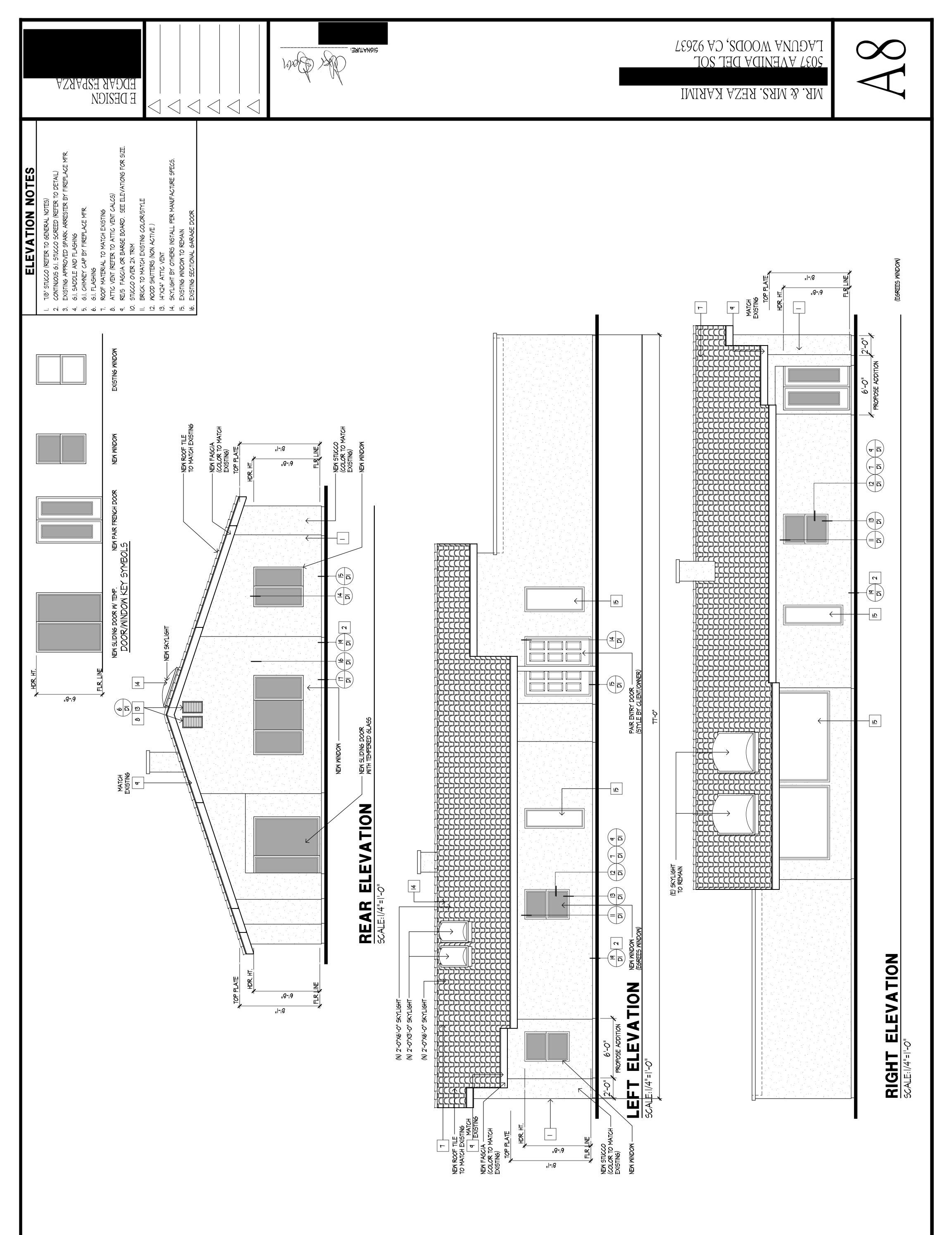
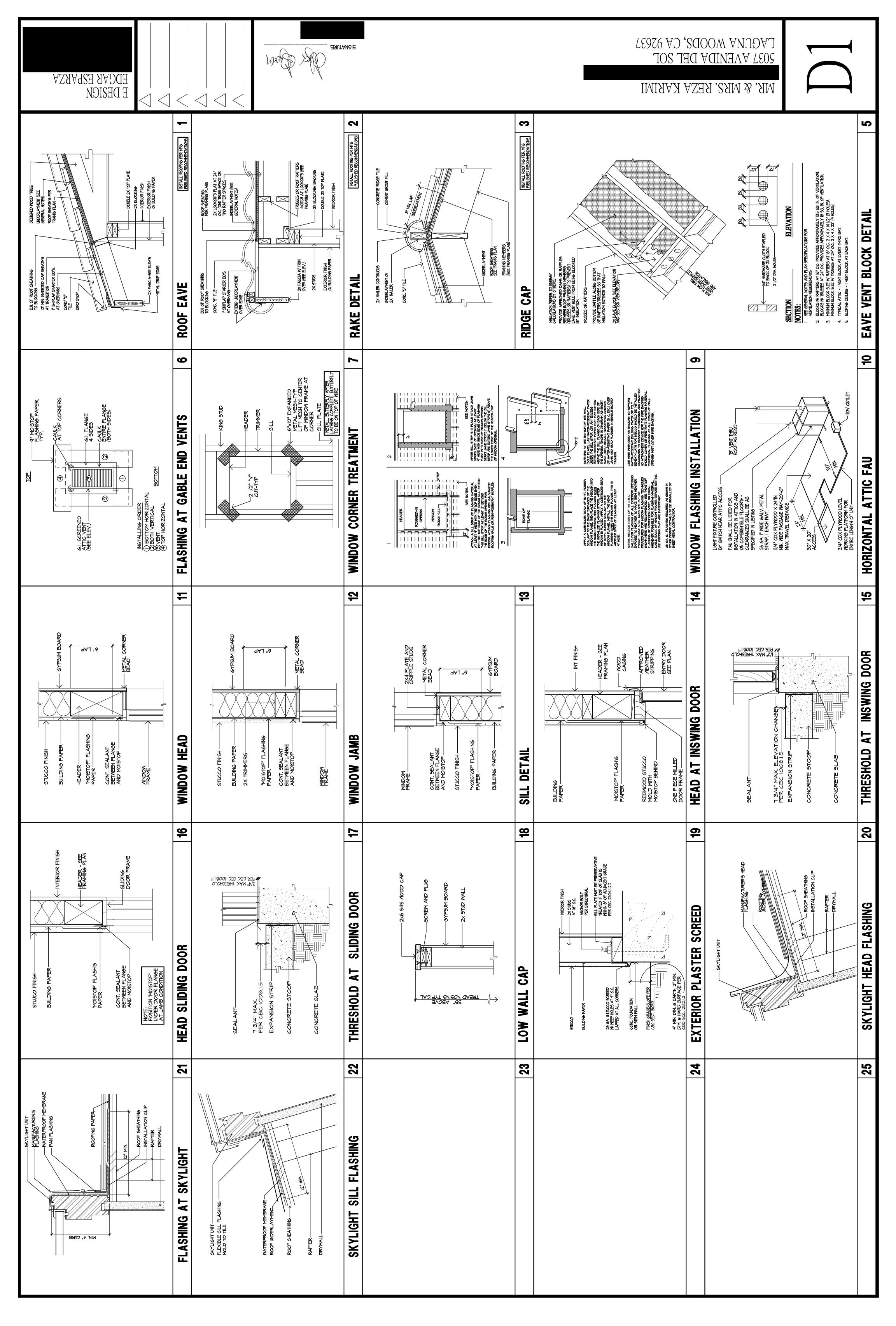


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SECTION NOTES		24. 2 X SOLE PLATE INTERIOR NOTES	 DOBLE SIK WITH GARBAGE DISPOSAL BULT-IN DISHWAGHER WITH AIR GAP BULT-IN DISHWAGHER WITH AIR GAP SLIDE-IN COOK-TOP WITH EXAMIST HOOD AND MICROWARE ABOVE ABOVE RAVEE OR COOKTOP TO UNPORTCOTED NONCOMBISTIBLES OR ABOVE RAVEE OR COOKTOP TO UNPORTCOTED NONCOMBISTIBLES OR ABOVE RAVEE OR COOKTOP TO UNPORTCOTED NONCOMBISTIBLES OR 24° CLEAR TO NETAL VENTLATING HOOD. PROVIDE 34' RETRIGERATIOR SPACE AND PLUMBING RECESSED IN MALL ERR ICE MAKERS RINTCHN ISLAND SILL-INI TRAH ADJISTABLE SHELVES BILL-INI TRAH ADJISTABLE SHELVES SILL-INI TRAH ADJISTABLE SHELVES MIRTOR MIRTOR MIRTOR MIRTOR MIRTOR MIRTOR MIRTOR WITR CLOSEFE MIRTOR WITR CLOSINE MIRTOR WITR CLOSEFE MIRTOR MIRTOR<!--</th--><th></th><th></th>		



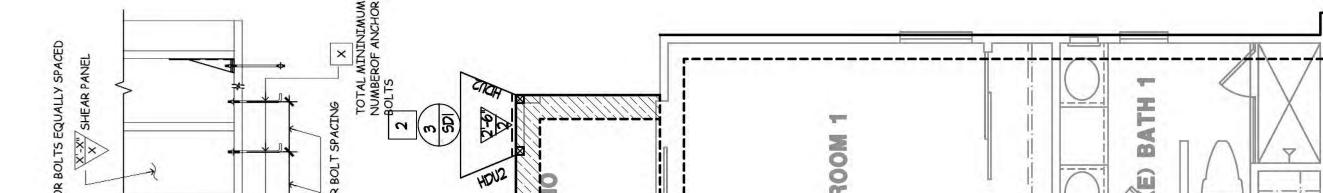


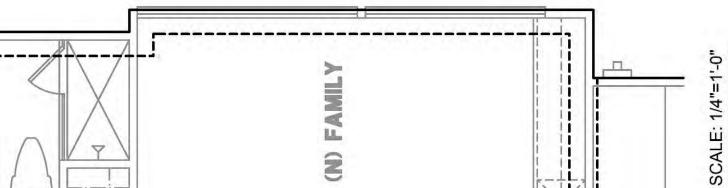












SCHEDULE NAILING

CONNECTION

JOIST TO SILL OR GIRDER, TOENAIL
 BRIDGING TO JOIST, TOENAIL EACH END
 BRIDGING TO JOIST, TOENAIL EACH END
 I" X 6" SUBFLOOR OR LESS TO EACH JOIST, FACE NAIL
 WIDER THAN 1" X 6" SUBFLOOR TO EACH JOIST, FACE NAIL
 WIDER THAN 1" X 6" SUBFLOOR TO EACH JOIST, FACE NAIL
 SOLE PLATE TO JOIST OR GIRDER, BLIND AND FACE NAIL
 SOLE PLATE TO JOIST OR BLOCKING, FACE NAIL

2-8d 2-8d 3-8d

- 2-16d 16d AT 16" O.C. (3) 16d PER 16" 4-8d, TOENAIL OR 2-16d, END NAIL

CONSULTANT

- 16d AT 24" O.C. 16d AT 16" O.C. 8-16d 3-8d 8d AT 6" O.C. 9. DOUBLE STUDS, FACE NAIL
 10. DOUBLED TOP PLATES, FACE NAIL DOUBLE TOP PLATES, LAP SPLIC
 11. BLOCKING BETWEEN JOIST OR RAFTERS TO TOP PLATE, TOE
 12. RIM JOIST TO TOP PLATE, TOE NAIL
 13. TOP PLATES, LAPS AND INTERSECTIONS, FACE NAIL
 14. CONTINUOUS HEADER, TWO PIECES
 - TOENAIL
- 2-16d 16d AT 16" O.C. ALONG EACH EDGE
 - 15. CEILING JOISTS TO PLATE, TOENAIL
 16. CONTINUOUS HEADER TO STUD, TOENAIL
 17. CEILING JOISTS, LAPS OVER PARTITIONS, FACE NAIL
 18. CEILING JOISTS TO PARALLEL RAFTERS, FACE NAIL
 19. RAFTER TO PLATE, TOENAIL
 20. 1" BRACE TO EACH STUD AND PLATE, FACE NAIL
 20. 1" SHEATHING OR LESS TO EACH BEARING, FACE NAIL
 21. 1" X 8" SHEATHING OR LESS TO EACH BEARING, FACE NAIL
 23. BUILT-UP CORNER STUDS
 24. BUILT-UP GIRDER AND BEAMS

07/24/

DATE SIGNED

3-8d 4-8d 3-16d 3-16d 3-16d 3-8d 2-8d 2-8d 2-8d 3-8d

FCA

0.0

- 20d AT 32" O.C. AT TOP 30TTOM AND STAGGERED 2-20d AT ENDS AND AT EACH SPLICE 2-16d AT EACH BEARING 16d AT 24" 204 AT 32" O.C AND BOTTOM AND STA 2-204 AT ENDS

FRAMTNG	
	2016 CALIFORNIA BUILDING CODE
EDULE	SHEAR WALL SCHEDU
(U.N.O.) (* NOTE: COMMON OR BOX NAILS MAY BE USED (U.N.O.)
2-16d AT EACH BEA	25. 2" PLANKS
2-200 AT ENDS AN EACH	

CLIPS A35's	@ 24" O.C.	© 16" O.C.	@ 12" O.C.	© 10" 0.C. (U.N.O.)	© 8" 0.C. (U.N.O.)
SHEAR CAPACITY (PLF)	200	340	510	650	870
NATLING (COMMON)		All field nails to	to be @ 12" o.c.		
EDGE NAILING (COMMON)	8 d's © 6" O.C.	10 d's @ 6" O.C.	10 d's @ 4" O.C.	10 d's © 3" 0.C.	10 d's @ 2" <i>O.C</i> .
SHEATHING	3/8" APA rated exp. 1	15/32" APA structural I rated	15/32" APA structural I rated 4 ply	15/32" APA structural I rated 4 ply	15/32" APA structural I rated 4 ply
ANEL	$\sqrt{1}$	2	(*)	(*)	(*)

edges with nails stagg wall shall have 0.229"×3"×3" plate washers. ive treat nominal or wider framing at adjoining panel ed for be 4 bolts @ shear 's and co rovide 3" F

FOUNDATION

footing to have 5/8"dia. x min. 12" anchor bolts with 3"X3"X.229" abedment into concrete, at 72" o.c. unless noted otherwise on plan be located max. 12" away from the end of the sill plates. min. (2) shear panel. pa exterior min. 7" el A.B.'s per sill plate per

For interior non-shear walls use Simpson PHNW series 0.145@ pins with a penetration of 1 1/4" into slab at 16" O.C. to be installed in accordance with ICC ESR-2138. Actual slab thickness to be minimum 4". All interior shear walls to have A.Bs. per foundation plan. All holdowns and post anchors to be installed according to most current Simpson Strong Tie specifications and requirements and shall be tied in place prior to foundation.

ed walls (non-bearing) Building Code 2308.9.1 balloon framed walls stud heights: - 2x4's © 16" o.c. maximum 14'-0" height - 2x6's © 16" o.c. maximum 20'-0" height - No multiples of 2x4"s are allowed to span r - Bearing walls exceeding 10'-0"

- more than 14'-0". signed case by case exceeding 10'-0" must be desig

Use 4X4 header for openings less than 6'-0" at non bearing walls and 4x8 headers for openings between 6'-0" and 12'-0" at non-bearing walls. Use 2x4 framing \bigotimes medicine cabinet and garage vent. (U.N.O.) Top plates of all wood stud walls to consist of (2) 2x's the same width as the studs U.N.O. Top plates shall lap a minimum of 48" and be spliced with not less than 6-16d nails spaced not more than 12" on center.

one end to . Contractor drawings. Cont panels is assu material from All shear panels shall have continuous sheathing mater the other and form plate to plate as specified on the c shall coordinate framing such that continuity of shear

CONCRETE STRENGTH

Concrete shall be proportioned to pro f'c, equal to 3000 psi (28 days).

ed - 2" - 2" - 1 1/2" at cent Min. concrete cover for reinforcing: a- Concrete, placed against earth not for b- Concrete formed or troweled c- Walls and curbs d- Slab on grade

LUMBER GRADES

standard or better

woods shall be

6x & 8x posts/beams/headers: #1 DFL 4x beams and headers: #2 DFL 2x joists/rafters: #2 DFL Top plates: D.F.L. construction standard, standard o Studs: Stud grade All mud sills to be P.T. DFL Fasterners in contact with preservative treated woi zinc coated hot dip galvanized or stainless steel. TYPICAL ROOF SHEATHING

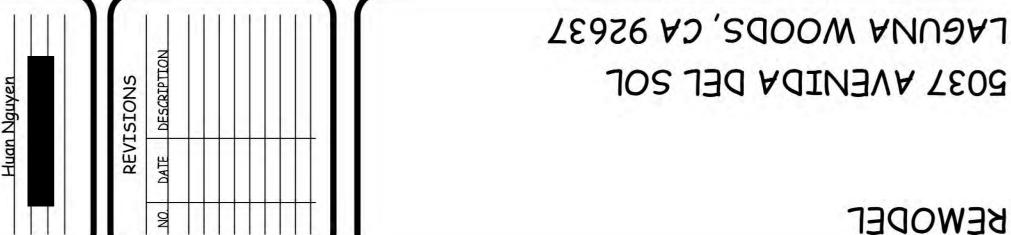
15/32" APA rated sheathing Exp 1 with a min. panel index of 24/0. refer to NER 108 for installation and conditions of use.

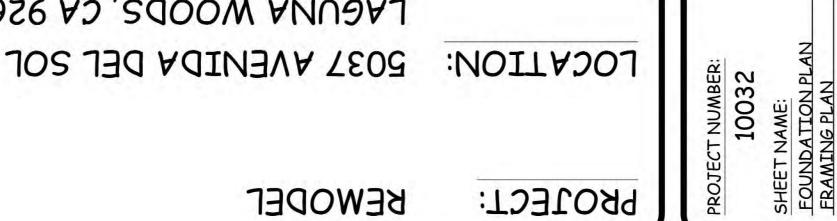
B.N.:8d common nail at 6" o.c. E.N.:8d common nail at 6" o.c. F.N.:8d common nail at 12" o.c

TYPICAL FLOOR SHEATHING 23/32" APA rated Sturd-I-Floor T&G Exp I with min. span rating of 24" o.c. Refer to NER 108 for installation and conditions of use B.N.:10d common nails at 6" o.c. E.N.:10d common nails at 12" o.c. F.N.:10d common nails at 12" o.c.

esives meeting APA manufacturer's Use ring or screw shank nails and glue sheathing to framing using adh specification AFG-01 or ASTM D3498. Apply glue in accordance with dations

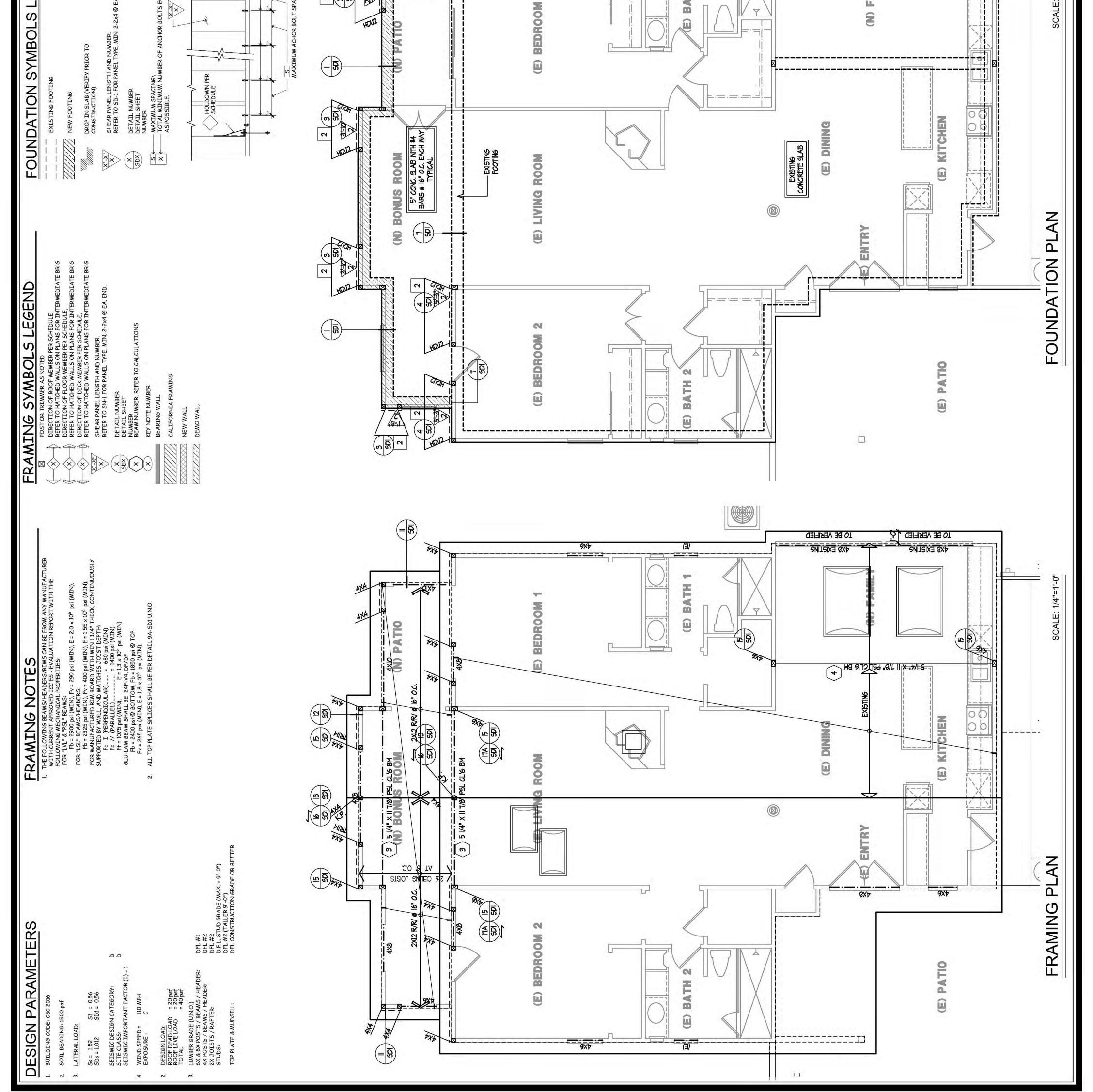
SHEET NUMBER S



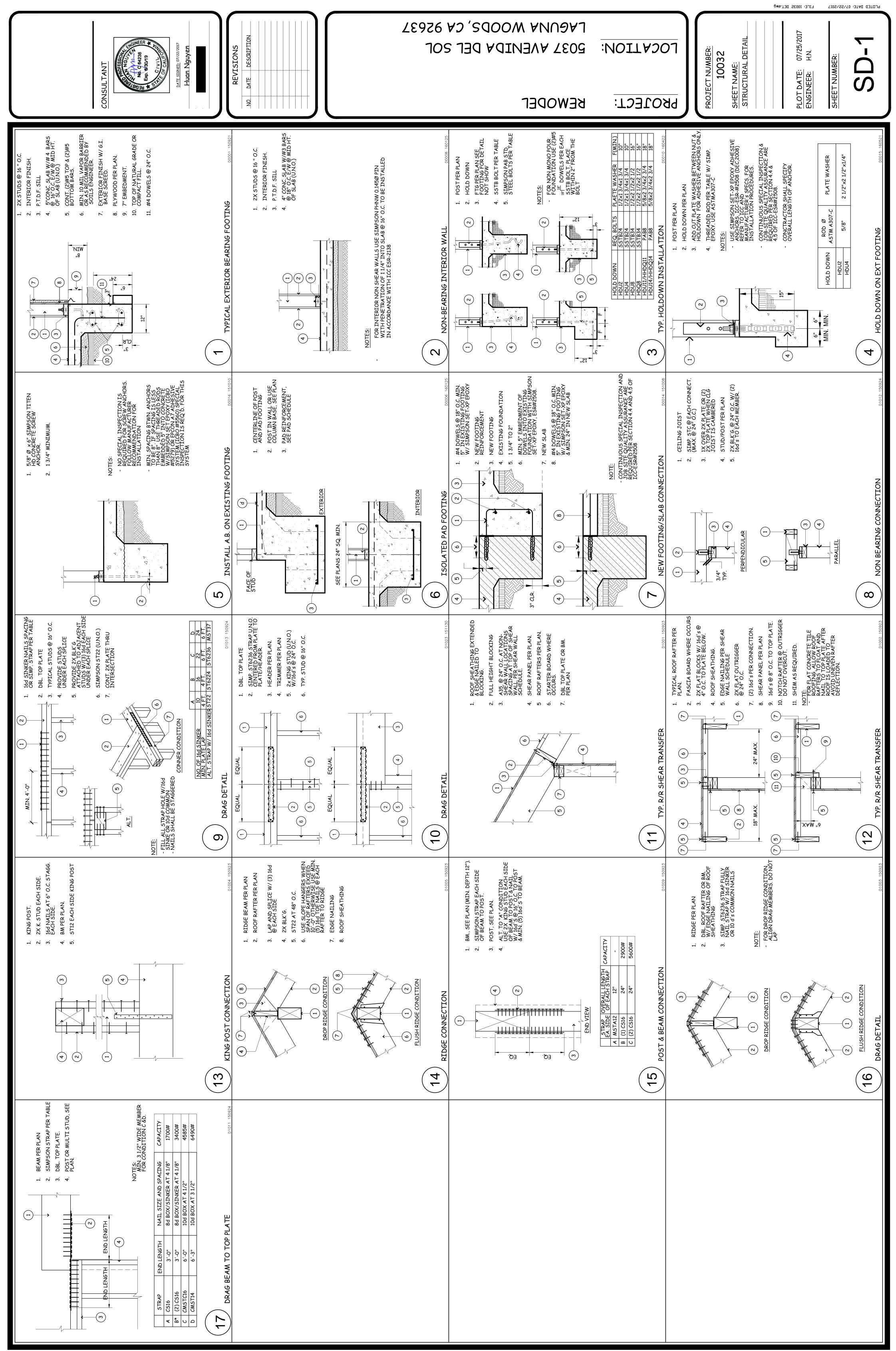


07/25/2017 H.N.

PLOT DATE: ENGINEER:



Agenda Item # 12 Page 21 of 27



Laguna Woods Village	Attachment 2	MANOR # 5037
	nce Request Form	SA
Nodel: VILLA REPOSA	Plan: CII	Date: 12/28/17
Member Name: REZA KARIMI	Signature Z.C.	
Phone:	Email:	
Contractor Name/Co: DNE WAY CONSTRUCTION (DIEG	Phone:	Email:
Description of Proposed Variance Req	uest ONLY:	
ROOM MODITION ON EXIST.	ING REAR PATIO	
Dimensions of Proposed Variance Alte	erations UNLY:	
IAA M LAAR	wx 36-6" × 6-0	<i>""</i>)
1814 (APPA	0x 40-0 x 0-0	/
/		
		1
	OR OFFICE USE ONLY	7/00
RECEIVED BY: DATE R	ECEIVED: 12/18/17 Check	<u># /990 ву: Ки</u>
Alteration Variance Request	Complete Submittal C	ut Off Date:
A. BOARD CONTRACTOR	Meetings Scheduled:	
Check Items Received: Drawing of Existing Floor Plan		Sect TBD
Drawing of Proposed Variance	Third AC&S Committee (TAC	
Dimensions of Proposed Variance	United M&C Committee:	
Before and After	Board Meeting:	
Other:	Denied A	Approved
		Other Item # 12 Page 23 of 27

Attachment: 3











Existing



Proposed



Attachment: 4





Section 5A - Satellite Dishes: 1 Story Buildings

ADOPTED NOVEMBER 2006, RESOLUTION 03-06-57 REVISED APRIL 2007, RESOLUTION 03-07-31 GENERAL REQUIREMENTS REVISED APRIL 2011, RESOLUTION 03-11-49 REVISED NOVEMBER 2013, RESOLUTION 03-13-119 <u>REVISED MARCH 2018, RESOLUTION 03-18-XX</u>

1.0 GENERAL GUIDELINES

FOR GENERAL REQUIRMENTS SEE SECTION 1 GENERAL REQUIREMENTS FOR ALTERATION STANDARDS

- 1.1 <u>PERMITS AND FEES:</u> A Mutual permit is required for all alterations to the building. A City of Laguna Woods permit — may be required. All fees for both Mutual and City permits shall be paid for by the Member and/or his or her contractor. Member and/or his or her contractor must provide the Permits and Inspections office with City permit number(s) prior to beginning work.
- **1.2** <u>MEMBERS' RESPONSIBILITY:</u> The Member is solely responsible for the maintenance, repair, and/or removal of all alterations to the building.
- **1.3** <u>CODES AND REGULATIONS:</u> All work shall comply with all applicable local, state, and federal requirements. including, but not limited to, the current edition of the National Electric Code (NEC).
- 1.4 WORK HOURS: No work shall commence prior to 7:00a.m. and no work shall be permitted after 6:00p.m. Monday through Friday. Work on Saturday shall be permitted from 9:00a.m – 2:00p.m. for work which results in construction-related noise (e.g. cutting tile, hammering, use of power tools). For work that does not result in excessive noise, such as painting and carpet installation, permitted

hours are 7:00a.m. – 6:00p.m. No work whatsoever shall be permitted on Sunday.

- **1.5 PLANS:** The Member applying for a permit shall provide to the Permits and Inspections office a detailed plan(s) for approval indicating all work to be done, i.e., size, location, description and specifications.
- 1.6 <u>DUMPSITES:</u> The premises shall be kept free of accumulation of waste materials and/or rubbish caused by construction work. The Member and/or his or her contractor is responsible for removal of debris and excess material and must leave work areas "BROOM CLEAN" daily. USE OF COMMUNITY DUMPSITES FOR CONSTRUCTION RELATED DUMPING IS NOT PERMITTED. Contractor's or Member's dumpsters, if required, must have location approved by the Permits and Inspections office.
- **1.7** <u>CONTRACTOR:</u> Installation must be performed by a California licensed contractor of the appropriate trade.
- **1.8** <u>CONTRACTOR'S CONDUCT:</u> Member's contractor's, their personnel, and sub-contractors shall refrain at all times from using profanity, abusive or loud language, and must wear shirts at all times. Radio, MP3, CD or cassette players are not permitted on the project site. Contractor personnel will, at all times, extend and exhibit a courteous demeanor to residents.

2.0 GENERAL GUIDELINES

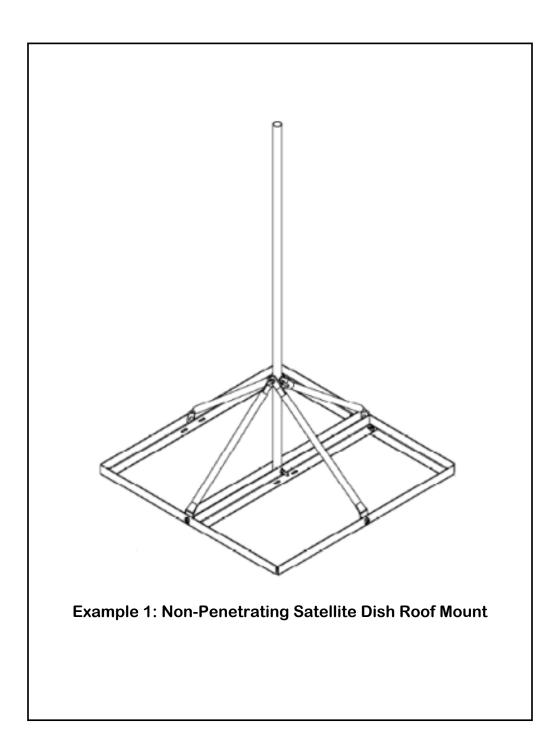
- **2.1** Any installation permitted in Mutual Common Area at one story buildings must follow all guidelines set forth by the following Mutual Alteration Standard.
- 2.2 Prior to installation of any satellite dish, a plan and the specifications of all proposed work and equipment must be submitted for approval as specified in Section 1.5. The submitted plan must indicate all work to be done, i.e., type of dish, size, a full description, it's location on the building, anchoring, and method of sealing wall(s) and attachments. Site location will be contingent upon Mutual approval.
- **2.3** The Mutual Member assumes all responsibility for any damage including, but not limited to, roof or wall damage, or damage from moisture intrusion resulting from improper installation of the satellite dish.

- **2.4** No satellite dish will be permitted which may become hazardous to other residents or workmen due to its location or dimensions.
- 2.5 Any satellite dish must be made easily removable as required for performance of maintenance. In the event a satellite dish must be removed it shall be the Mutual Member's responsibility to remove and properly store the dish until such time that maintenance work has been completed. The cost of removal, storage and re-installation shall be borne by the Mutual Member.
- **2.6** Any satellite dish installation must follow all guidelines set forth by the Federal Communications Commission's Over-the-Air-Reception-Devices rule (OTARD).
- **2.7** Any installation violating these guidelines is subject to immediate removal at the sole cost of the Mutual Member, and the restoration of any Mutual property, at the Member's expense.
- **2.8** Should the proposed location of a satellite dish be in an area that is technically Common Area, e.g., the roof, then the applicant is required to execute and submit to Third Laguna Hills Mutual, prior to installation of a dish, the "Agreement Regarding Satellite Dish Installation on Common Area Property" or similarly titled document.
- 2.9 Should the proposed location of a satellite dish be in a location that is currently occupied by a functional solar panel, an alternate location will be designated by the Alteration Department.

3.0 INSTALLATION GUIDELINES

- **3.1** Satellite dish installation is permitted on Exclusive Use Common Area, i.e., <u>patiospatio</u>, <u>atrium or courtyard</u>. The dish must stay within <u>the</u> footprint of <u>patiosuch areas</u>.
- **3.2** Satellite dish installation is permitted on building fascias<u>-of</u> detached manors only. The resident <u>Member</u> shall <u>make all</u> <u>efforts coordinate with and receive approval of from the Alterations</u> <u>Department for all satellite dish locations</u>. <u>Allto install a</u> satellite dish <u>installations shall that will</u> not be visible from neighboring street(s). Satellite dishes must be installed no less than twenty (20) feet from the corner of the building closest to the street, and cannot be attached on a side of the building that faces the street.

- **3.3** For satellite dish installations on building fascias of detached manors, the mounting bracket and its perimeter bolt patternshall be clamp style and must fully fit onto the fascia, with no overhang.
- **3.4** Satellite dish installation is permitted on **flat roofs** when the location does not interfere with the overall visual continuity of the manor and/or surrounding area. No satellite dish or any portion of a satellite dish and its related Members shall be attached to any built-up roofing on a flat roof. See 2.2 for installation criteria.
- **3.5** To install a dish on a **flat roof**, mount the satellite dish on a nonpenetrating satellite dish roof-mount weighted down by a minimum of four 8" x 8" x 16" <u>cinderblocks concrete blocks</u> (see Example 1 below).
- 3.6 For installation of a satellite dish onto a **flat PVC cool roof**, the member must install a 3' X 3' satellite dish pad provided by the Mutual's roofing contractor at the expense of the Member.
- **3.7** Only one (1) satellite dish per manor is allowed.
- **3.8** Any satellite dish installed on Common Area shall not exceed a diameter of 36".
- **3.9** No coaxial cable shall be larger than $\frac{1}{2}$ " in diameter.
- **3.10** Fasteners shall be properly sealed to prevent moisture intrusion. Sealants shall be specifically manufactured for the application for which it is used.
- **3.11** Drilling through a roof is prohibited.
- **3.12** Mounting a satellite dish on a chimney is prohibited.
- **3.13** Utilization of any GRF Broadband installation and/or equipment is prohibited.
- **3.14** Mounting of a satellite dish to PVC, ABS, or plumbing vent pipes is prohibited.
- **3.15** No modifications to any fascia, rain gutter or plumbing vent shall be permitted. A satellite dish installation shall not obstruct a rain gutter or plumbing vent in any way.
- **3.16** It is recommended that satellite dishes and installation materials be grounded in accordance with the National Electric Code.





Section 5B - Satellite Dishes: 2 Story Buildings

ADOPTED NOVEMBER 2006, RESOLUTION 03-06-58 REVISED APRIL 2007, RESOLUTION 03-07-32 GENERAL REQUIREMENTS REVISED APRIL 2011, RESOLUTION 03-11-49 REVISED NOVEMBER 2013, RESOLUTION 03-13-120 <u>REVISED MARCH 2018, RESOLUTION 03-18-XX</u>

1.0 GENERAL REQUIREMENTS

FOR GENERAL REQUIRMENTS SEE SECTION 1 GENERAL REQUIREMENTS FOR ALTERATION STANDARDS

- 1.1 <u>PERMITS AND FEES:</u> A Mutual permit is required for all alterations to the building. A City of Laguna Woods permit may be required. All fees for both Mutual and City permits shall be paid for by the Member and/or his or her contractor. Member and/or his or her contractor must provide the Permits and Inspections office with City permit number(s) prior to beginning work.
- **1.2** <u>**MEMBERS' RESPONSIBILITY:**</u> The Member is solely responsible for the maintenance, repair, and/or removal of all alterations to the building.
- **1.3** <u>CODES AND REGULATIONS:</u> All work shall comply with all applicable local, state, and federal requirements including, but not limited to, the current edition of the National Electric Code (NEC).
- 1.4 <u>WORK HOURS:</u> No work shall commence prior to 7:00a.m. and no work shall be permitted after 6:00p.m. Monday through Friday. Work on Saturday shall be permitted from 9:00a.m – 2:00p.m. for work which results in construction-related noise (e.g. cutting tile, hammering, use of power tools). For work that does not result in excessive noise, such as painting and carpet installation, permitted hours are 7:00a.m. – 6:00p.m. No work whatsoever shall be permitted on Sunday.

- **1.5** <u>PLANS:</u> The Member applying for a permit shall provide to the Permits and Inspections office a detailed plan(s) for approval indicating all work to be done, i.e., size, location, description and specifications.
- 1.6 <u>DUMPSITES:</u> The premises shall be kept free of accumulation of waste materials and/or rubbish caused by construction work. The Member and/or his or her contractor is responsible for removal of debris and excess material and must leave work areas "BROOM CLEAN" daily. USE OF COMMUNITY DUMPSITES FOR CONSTRUCTION RELATED DUMPING IS NOT PERMITTED. Contractor's or Member's dumpsters, if required, must have location approved by the Permits and Inspections office.
- **1.7** <u>**CONTRACTOR:**</u> Installation must be performed by a California licensed contractor of the appropriate trade.
- **1.8** <u>CONTRACTOR'S CONDUCT:</u> Member's contractor's, their personnel, and sub-contractors shall refrain at all times from using profanity, abusive or loud language, and must wear shirts at all times. Radio, MP3, CD or cassette players are not permitted on the project site. Contractor personnel will, at all times, extend and exhibit a courteous demeanor to residents.

2.0 GENERAL GUIDELINES

- **2.1** Any installation permitted in Mutual Common Area at two story buildings must follow all guidelines set forth by the following Mutual Alteration Standard.
- 2.2 Prior to installation of any satellite dish, a plan and the specifications of all proposed work and equipment must be submitted for approval as specified in Section 1.5. The submitted plan must indicate all work to be done, i.e., type of dish, size, a full description, it's location on the building, anchoring, and method of sealing wall(s) and attachments. Site location will be contingent upon Mutual approval.
- **2.3** The Mutual Member assumes all responsibility for any damage including, but not limited to, roof or wall damage, or damage from moisture intrusion resulting from improper installation of the satellite dish.
- 2.4 No satellite dish <u>will-shall</u> be permitted which may become hazardous to other residents or workmen due to its location or dimensions.
- **2.5** Any satellite dish must be made easily removable as required for performance of maintenance. In the event a satellite dish must be removed it shall be the Mutual Member's responsibility to remove

and properly store the dish until such time that maintenance work has been completed. The cost of removal, storage and reinstallation shall be borne by the Mutual Member.

- **2.6** Any satellite dish installation must follow all guidelines set forth by the Federal Communications Commission's Over-the-Air-Reception- Devices rule (OTARD).
- **2.7** Any installation violating these guidelines is subject to immediate removal at the sole cost of the Mutual Member, and restoration of any Mutual property, at the Member's expense.
- **2.8** Should the proposed location of a satellite dish be in an area that is technically Common Area, e.g., the roof, then the applicant is required to execute and submit to Third Laguna Hills Mutual, prior to installation of a dish, the "Agreement Regarding Satellite Dish Installation on Common Area Property" or similarly titled document.
- 2.9 Should the proposed location of a satellite dish be in a location that is currently occupied by a functional solar panel, an alternate location will be designated by the Alteration Department.

3.0 INSTALLATION GUIDELINES

- **3.1** Satellite dish installation is permitted on Exclusive Use Common Area, e.g. patios or balconies. Dish must stay within footprint of patio or perimeter of balcony railingsuch areas.
- **3.2** Only one (1) satellite dish per manor is allowed.
- **3.3** Any satellite dish installed on Common Area shall not exceed a diameter of 36", with the exception of manor types listed in paragraph 3.16 herein.
- **3.4** No coaxial cable shall be larger than $\frac{1}{2}$ " diameter.
- 3.5 Unless otherwise specified, coaxial cable shall be encased in ½", 26 gauge steel wiremoldwire mold -fastened to the surface of the wall with ½"- mounting clips and anchors, specified for stucco, attached every four feet. WiremoldWire mold -shall be painted to match the surface to which it is attached prior to installation. Fasteners shall be properly sealed to prevent moisture intrusion. Sealants shall be specifically manufactured for the application for which it is used.
- **3.6** Drilling through a roof is prohibited.
- **3.7** Utilization of any GRF Broadband installation and/or equipment is prohibited.

- **3.8** Mounting of a satellite dish to PVC, ABS, plumbing vent pipes is prohibited.
- **3.9** No satellite dish or any portion of a satellite dish and its related <u>membersMembers</u> shall be attached to any built-up roofing on a flat roof.
- **3.10** Mounting a satellite dish on a chimney is prohibited.
- **3.11** No modifications to any fascia, rain gutter or plumbing vent shall be permitted. A satellite dish installation shall not obstruct a rain gutter or plumbing vent in any way.
- **3.12** It is recommended that satellite dishes and installation materials be grounded in accordance with the National Electric Code.

3.13 Buildings with flat roof and mansard roof

- (a) Place the satellite dish approximately 15 feet from the edge of the flat roof above the manor for which the service is being provided. At no time can the dish be mounted on the side of the building or to existing fascias.
- (b) For installation of a satellite dish onto a **flat PVC cool roof**, the member must install a 3' X 3' satellite dish pad provided by the Mutual's roofing contractor at the expense of the Member.
- (c) Mount the satellite dish on a non-penetrating satellite dish roof-mount weighted down by a minimum of four, 8" x 8" x 16" cinderblocks (see Example 1 below).
- (d) Extend the coaxial cable from the dish, across the surface of the roof, to the mansard roof. Continue over the mansard roof and rain gutter, firmly and without slack, until the coaxial cable reaches the overhang. (Do not alter or damage the tile or rain gutter in any way.
- (e) Attach <u>wiremoldwire mold</u> to the overhang, continue in a straight line to the wall of the building, and down vertically and horizontally, as required, to provide entry to the manor 24" from the floor. Encase the coaxial cable in the attached

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wiremoldwire mold. Penetrate the wall to bring coaxial cable into the manor. (See 3.5)

(f) Do not place <u>wiremoldwire mold</u>-within 18" of balconies, balcony railings or balcony overhangs. Do not place <u>wiremoldwire mold</u> across any part of an overhang vent or near, or on, windows. Do not alter or damage wall-mounted air conditioners.

3.14 Buildings with flat roof and parapet

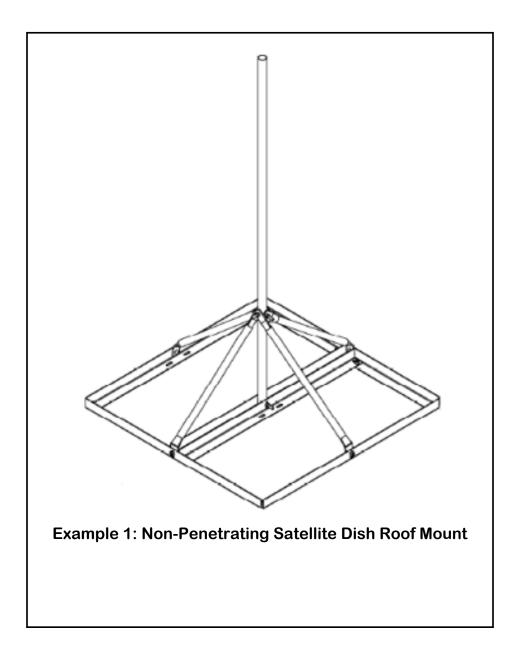
- (a) Place the satellite dish on the flat roof approximately 15 feet from the parapet above the manor for which the service is being provided. At no time can the dish be mounted on the side of the building or to existing fascias.
- (b) For installation of a satellite dish onto a **flat PVC cool roof**, the member must install a 3' X 3' satellite dish pad provided by the Mutual's roofing contractor at the expense of the Member.
- (c) Mount the satellite dish on a non-penetrating satellite dish roof-mount weighted down by a minimum of four, 8" x 8" x 16" cinderblocks (see Example 1 below).
- (d) Extend the coaxial cable from the dish across the surface of the flat roof to the parapet. Continue the coaxial cable up the wall of the parapet, over the crown, and down until it is several inches below an existing wire- mold installation. (Do not attach the coaxial cable to the interior wall of the parapet with fasteners.) Attach new wiremoldwire mold immediatelyimmediately below the existing wiremoldwire mold installation and continue vertically and horizontally as required to reach the manor 24" from the floor. Encase the coaxial cable in the attached wiremoldwire mold. Penetrate the wall to bring coaxial cable into the manor. (See 3.5)
- (e) Do not use, alter or damage existing wire mold installation.

3.15 Seville

- (a) Place the satellite dish approximately 15 feet from the edge of the flat roof above the manor for which the service is being provided. At no time can the dish be mounted on the side of the building, existing fascias, or on roof beams.
- (b) For installation of a satellite dish onto a flat PVC cool roof, the member must install a 3' X 3' satellite dish pad provided by the Mutual's roofing contractor at the expense of the Member.
- (c) Mount the satellite dish on a non-penetrating satellite dish roof-mount weighted down by a minimum of four, 8" x 8" x 16" cinderblocks concrete blocks (see Example 1 below).
- (d) Extend the coaxial cable from the dish across the surface of the roof to the fascia. Attach the coaxial cable to the inside of the fascia and continue down to a location that is directly in line above the room selected for installation of the jack. Attach the coaxial cable to the overhang and continue to the wall of the building. Attach wire_mold to the wall, vertically, in a straight line down to provide entry to the manor 24" from the floor. Encase the coaxial cable in the attached wire_mold. Penetrate the wall to bring coaxial cable into the manor. (See 3.5)
- (e) Do not use, alter or damage existing <u>wiremoldwire mold</u> installation. Do not alter or damage rain gutters.

3.16 **Catalina,** Casa Milano, La Quinta and Villa Lugano series

(a) Mounting of satellite dishes on buildings is permitted only upon approval of <u>Permits and Inspections officeAlterations</u> <u>Division</u> of a detailed plan indicating all work to be done, i.e., size, location, description and specifications. (b) Satellite dish installation is permitted on Excusive Use Common Area, e.g., patios or balconies. Dish must stay within footprint of patio of perimeter of balcony railing.





Section 5C - Satellite Dishes: 3 Story Buildings

ADOPTED NOVEMBER 2006, RESOLUTION 03-06-59 REVISED APRIL 2007, RESOLUTION 03-07-33 GENERAL REQUIREMENTS REVISED APRIL 2011, RESOLUTION 03-11-49 REVISED NOVEMBER 2013, RESOLUTION 03-13-121 <u>REVISED MARCH 2018, RESOLUTION 03-18-XX</u>

1.0 GENERAL GUIDELINES

FOR GENERAL REQUIRMENTS SEE SECTION 1 GENERAL REQUIREMENTS FOR ALTERATION STANDARDS

- **1.1 PERMITS AND FEES:** A Mutual permit is required for all alterations to the building. A City of Laguna Woods permit may be required. All fees for both Mutual and City permits shall be paid for by the Member and/or his or her contractor. Member and/or his or her contractor must provide the Permits and Inspections office with City permit number(s) prior to beginning work.
- **1.2** <u>**MEMBERS' RESPONSIBILITY:**</u> The Member is solely responsible for the maintenance, repair, and/or removal of all alterations to the building.
- **1.3** <u>CODES AND REGULATIONS:</u> All work shall comply with all applicable local, state, and federal requirements including, but not limited to, the current edition of the National Electric Code (NEC).
- 1.4 <u>WORK HOURS:</u> No work shall commence prior to 7:00a.m. and no work shall be permitted after 6:00p.m. Monday through Friday. Work on Saturday shall be permitted from 9:00a.m – 2:00p.m. for work which results in construction-related noise (e.g. cutting tile, hammering, use of power tools). For work that does not result in excessive noise, such as painting and carpet installation, permitted hours are 7:00a.m. – 6:00p.m. No work whatsoever shall be permitted on Sunday.

- **1.5** <u>PLANS:</u> The Member applying for a permit shall provide to the Permits and Inspections office a detailed plan(s) for approval indicating all work to be done, i.e., size, location, description and specifications.
- 1.6 <u>DUMPSITES:</u> The premises shall be kept free of accumulation of waste materials and/or rubbish caused by construction work. The Member and/or his or her contractor is responsible for removal of debris and excess material and must leave work areas "BROOM CLEAN" daily. USE OF COMMUNITY DUMPSITES FOR CONSTRUCTION RELATED DUMPING IS NOT PERMITTED. Contractor's or Member's dumpsters, if required, must have location approved by the Permits and Inspections office.
- **1.7** <u>CONTRACTOR:</u> Installation must be performed by a California licensed contractor of the appropriate trade.
- **1.8** <u>CONTRACTOR'S CONDUCT:</u> Member's contractor's, their personnel, and sub-contractors shall refrain at all times from using profanity, abusive or loud language, and must wear shirts at all times. Radio, MP3, CD or cassette players are not permitted on the project site. Contractor personnel will, at all times, extend and exhibit a courteous demeanor to residents.

2.0 GENERAL GUIDELINES

- **2.1** Any installation permitted in Mutual Common Area on three story buildings must follow all guidelines set forth by the following Mutual Alteration Standard.
- **2.2** Prior to installation of any satellite dish, a plan and the specifications of all proposed work and equipment must be submitted for approval as specified in Section 1.5. The submitted plan must indicate all work to be done, i.e., type of dish, size, a full description, it's location on the building, anchoring, and method of sealing wall(s) and attachments. Site location will be contingent upon Mutual approval.
- **2.3** The Mutual Member assumes all responsibility for any damage including, but not limited to, roof or wall damage, or damage from

moisture intrusion resulting from improper installation of the satellite dish.

- **2.4** No satellite dish shall be permitted which may become hazardous to other residents or workmen due to its location or dimensions.
- **2.5** Any satellite dish shall be made easily removable as required for performance of maintenance. In the event a satellite dish must be removed it shall be the Mutual Member's responsibility to remove and properly store the dish until such time that maintenance work has been completed. The cost of removal, storage and reinstallation shall be borne by the Mutual Member.
- **2.6** Any satellite dish installation must follow all guidelines set forth by the Federal Communications Commission's Over-the-Air-Reception- Devices rule (OTARD).
- **2.7** Any installation violating these guidelines is subject to immediate removal at the sole cost of the Mutual Member, and restoration of any Mutual property, at the Member's expense.
- **2.8** Should the proposed location of a satellite dish be in an area that is Common Area, e.g., the roof, the applicant is required to execute and submit to Third Laguna Hills Mutual, prior to installation of a dish, the "Agreement Regarding Satellite Dish Installation on Common Area Property" or similarly titled document.
- 2.9 Should the proposed location of a satellite dish be in a location that is currently occupied by a functional solar panel, an alternate location will be designated by the Alteration Department.

3.0 INSTALLATION GUIDELINES

3.1 Satellite dish installation is permitted on Exclusive Use Common Area, e.g. patios or balconies. Dish must stay within footprint of patio or perimeter of balcony railing.

- **3.2** Only one (1) satellite dish per manor is allowed.
- **3.3** Any satellite dish installed on Common Area shall not exceed a diameter of 36",__with the exception of manor types listed in paragraph 3.15 herein.
- **3.4** No coaxial cable shall be larger than $\frac{1}{2}$ " in diameter.
- 3.5 Unless otherwise specified, coaxial cable shall be encased in ½", 26 gauge steel wiremoldwire mold fastened to the surface of the wall with ½" mounting clips and anchors, specified for stucco, attached every four feet. WiremoldWire mold shall be painted to match the surface to which it is attached prior to installation. Fasteners shall be properly sealed to prevent moisture intrusion. Sealants shall be specifically manufactured for the application for which it is used.
- **3.6** Drilling through a roof is prohibited.
- **3.7** Utilization of any GRF Broadband installation and/or equipment is prohibited.
- **3.8** Mounting of a satellite dish to PVC, ABS or plumbing vent pipes is prohibited.
- **3.9** No satellite dish or any portion of a satellite dish and its related members shall be attached to any built-up roofing on a flat roof.
- **3.10** No modifications to any fascia, rain gutter or plumbing vent shall be permitted. A satellite dish installation shall not obstruct a rain gutter or plumbing vent in any way.

3.11 It is recommended that satellite dishes and installation materials be grounded in accordance with the National Electric Code.

3.12 Garden Villa-type buildings with a mansard roof

- (a) Place the satellite dish approximately 15 feet from the edge of the flat roof above the manor for which the service is being provided. Coaxial cable installation is permitted on exterior walls but is prohibited on interior walls facing the courtyard. At no time can the dish be mounted on the side of the building or to existing fascias.
- (b) For installation of a satellite dish onto a **flat PVC cool roof**, the member must install a 3' X 3' satellite dish pad provided by the Mutual's roofing contractor at the expense of the Member.
- (c) Mount the satellite dish on a non-penetrating satellite dish roofmount weighted down by a minimum of four 8" x 8" x 16" <u>cinderblocksconcrete blocks</u> -(see Example 1 below).
- (d) Extend the coaxial cable from the dish, across the surface of the roof, to the mansard roof. Continue over the mansard roof and rain gutter, firmly and without slack, until the coaxial cable reaches the overhang. Do not alter or damage the tile or rain gutter in any way.
- (e) Attach <u>wiremoldwire mold</u> to the overhang, continue in a straight line to the wall of the building, and down vertically and horizontally as required to provide entry to the manor 24" from the floor. Encase the coaxial cable in the attached <u>wiremoldwire mold</u>. Penetrate the wall to bring coaxial cable into the manor. (See 3.5).
- (f) Do not place <u>wiremoldwire mold</u> within 18" of balconies, balcony railings or balcony overhangs. Do not place <u>wiremoldwire mold</u> across any part of an overhang vent or

near, or on, windows. Do not alter or damage wall-mounted air conditioners.

3.13 LH2Is with an overall flat roof and mansard roof

- (a) Place the satellite dish approximately 15 feet from the edge of the flat roof above the manor for which the service is being provided. Coaxial cable installation is permitted on the back and end walls but is prohibited on the front wall of the building. At no time can the dish be mounted on the side of the building or to existing fascias.
- (b) For installation of a satellite dish onto a **flat PVC cool roof**, the member must install a 3' X 3' satellite dish pad provided by the Mutual's roofing contractor at the expense of the Member.
- (c) Mount the satellite dish on a non-penetrating satellite dish roofmount weighted down by a minimum of four 8" x 8" x 16" <u>cinderblocksconcrete blocks</u> (see Example 1 below).
- (d) Extend the coaxial cable from the dish, across the surface of the flat roof and down the fascia. Continue over the mansard roof and rain gutter, firmly and without slack, until the coaxial cable reaches the wall of the building. Do not alter or damage the tile or rain gutter in any way.
- (e) Attach <u>wiremoldwire mold</u> to the wall immediately below the rain gutter and continue down vertically and horizontally as required to provide entry to the manor 24" from the floor. Encase the coaxial cable in the attached <u>wiremoldwire mold</u>. Penetrate the wall to bring coaxial cable into the manor. (See 3.5)
- (f) Do not place <u>wiremoldwire mold</u> within 18" of balconies, balcony railings or balcony overhangs. Do not place <u>wiremoldwire mold</u> across any part of an overhang vent or

near, or on, windows. Do not alter or damage wall-mounted air conditioners.

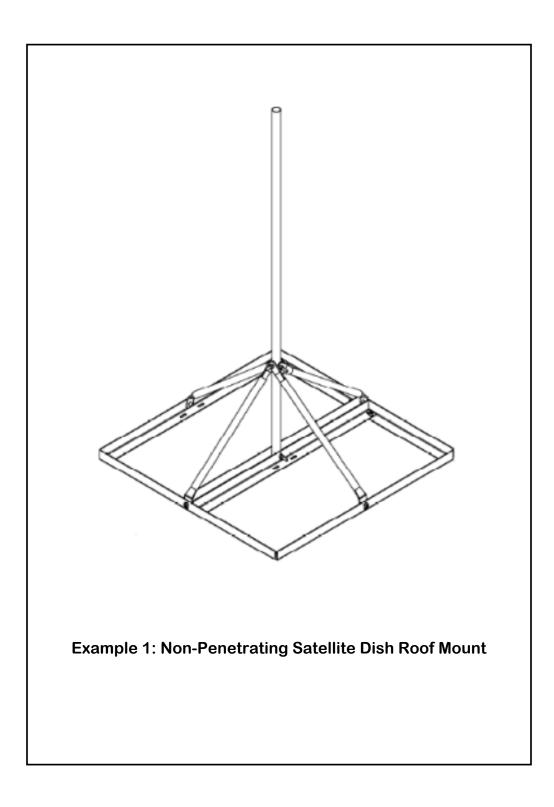
3.14 LH2Is with flat elevated center roof and mansard roof

- (a) Place the satellite dish in the approximate center of the elevated flat roof above the manor for which the service is being provided. Coaxial cable installation is permitted on the back and end walls but is prohibited on the front of the building. At no time can the dish be mounted on the side of the building or existing fascias.
- (b) For installation of a satellite dish onto a **flat PVC cool roof**, the member must install a 3' X 3' satellite dish pad provided by the Mutual's roofing contractor at the expense of the Member.
- (c) Mount the satellite dish on a non-penetrating satellite dish roofmount weighted down by a minimum of four 8" x 8" x 16" <u>cinderblocksconcrete blocks</u> (see Example 1 below).
- (d) Extend the coaxial cable from the dish across the surface of the flat elevated roof, and continue downward, firmly and without slack, over the mansard roof until the coaxial cable reaches the rain gutter or fascia. Do not alter or damage the fascia or rain gutter in any way.
- (e) Attach <u>wiremoldwire mold</u> to the overhang, continue in a straight line to the wall of the building, and down vertically and horizontally, as required, to provide entry to the manor 24" from the floor. Encase the coaxial cable in the attached <u>wiremoldwire mold</u>. Penetrate the wall to bring coaxial cable into the manor. (See 3.5)

(f) Do not place <u>wiremoldwire mold</u> within 18" of balconies, balcony railings or balcony overhangs. Do not place <u>wiremoldwire mold</u> across any part of an overhang vent or near, or on, windows. Do not alter or damage wall-mounted air conditioners.

3.15 LH2Is with sloping overall tile roof

Satellite dish installation on the roof, side of building, or fascias is prohibited. Satellite dish installation is permitted on Exclusive Use Common Area, e.g., patios or balconies. Dish must stay within footprint of patio or perimeter of balcony railing.





STAFF REPORT

DATE: February 26, 2018

FOR: Board of Directors

SUBJECT: Revisions to Alteration Standard 12 – Exterior Wall Attachments

RECOMMENDATION

Approve a resolution to revise Alteration Standard Section 12 – Exterior Wall Attachments

BACKGROUND

The Architectural Controls and Standards Committee (ACSC) requested Staff to review and revise the current Alteration Standards for applicability, usefulness, and current technology.

There are currently 40 Alteration Standards available for Members to use to perform alterations to their manor. Many have not been reviewed or updated for years to reflect changes in technology, materials, and construction methods.

Alteration Standard Section 12 – Exterior Wall Attachments was last revised in April, 1996, via Resolution M3-96-28.

DISCUSSION

The ACSC has reviewed the existing Alteration Standard Section 12 – Exterior Wall Attachments and determined that the Standard needs to be revised to reflect the current Building Codes, Municipal Codes, or Mutual policies. The proposed revisions to the Standard are as follows:

§3.1 Tile pavers and veneer used on a vertical surface exterior wall must be attached with thin set/epoxy mortar mixes.

§3.2 Tile and veneer used as a brick veneer will be limited to use on stucco covered exterior chimneys and entryway columns.

After review of the Standard, the ACSC determined that the following section should be added to the Standard:

§4.5 All trellis and wrought iron shall be mounted vertically.

FINANCIAL ANALYSIS

None

Prepared By: Kurt Wiemann, Permits, Inspections and Restoration Manager

Reviewed By: Eve Morton, Alterations Coordinator

ATTACHMENT(S)

Attachment 1: Resolution 03-18-XXX Revise Alteration Standard Section 12 Attachment 2: Red Lines of Alteration Standard Section 12 – Exterior Wall Attachments Agenda Item # 14 Page 1 of 6

Attachment 1

RESOLUTION 03-18-XX

Revise Alteration Standard Section 12 – Exterior Wall Attachments

WHEREAS, the Architectural Controls and Standards Committee recognizes the need to amend Alteration Standards and create new Alteration Standards as necessary; and,

WHEREAS, the Architectural Controls and Standards Committee recognizes the need to revise Alteration Standard Section 12 – Exterior Wall Attachments.

NOW THEREFORE BE IT RESOLVED, April 17, 2018, that the Board of Directors of this Corporation hereby revises and amends the following section of Alteration Standard Section 12 – Exterior Wall Attachments;

2.0 APPLICATIONS

- **2.1** No attachments may cover any electrical outlets or junction boxes.
- **2.2** No attachments may cover over plumbing access covers, cleanouts, or shutoffs.
- **2.3** No attachments may cover any vents, openings, or related items that will violate building code or hinder access in any way.
- **2.4** All attachments must be permanent in nature and not subject to extreme weathering or deterioration.
- **2.5** Any exterior wall attachment will be limited to only those walls which face limited common areas, such as patios or atriums.

3.0 <u>TILE AND VENEER</u>

- **3.1** Tile and veneer used on a vertical surface exterior wall must be attached with thin set/epoxy mortar mixes.
- **3.2** Tile and veneer used will be limited to use on stucco covered exterior chimneys and entryway columns.
- **3.3** Tile must match in color, design, and size as close as possible any brickwork on building existing.

4.0 TRELLIS AND WROUGHT IRON DESIGNS

- 4.1 Any trellis attached to a wall must be painted the same color as the wall.
- **4.2** Trellis and wrought iron shall be within 12" of walls and not used as screens, shades, or shields, nor higher than wall to which it is attached.

Third Laguna Hills Mutual Revise Alteration Standard Section 12 2/26/2018 Page 3

4.3 Wrought iron shall be easily removable for access to the wall for painting purposes.

4.4 All lags or screws into walls must be sealed prior to installation to prevent water penetration.

5.0 MURALS, AND WALL HANGINGS

- **5.1** Any installation of murals or wall hangings shall be limited to patio and atrium locations. No installation will protrude above the height of a patio wall.
- **5.2** Visual access through a wrought iron gate will be considered to be within the above statement and not a factor.

RESOLVED FURTHER, add the following section to Alteration Standard Section 12 – Exterior Wall Attachments; and,

4.5 All trellis and wrought iron shall be mounted vertically.

RESOLVED FURTHER, that the officers and agents of this Corporation are hereby authorized on behalf of the Corporation to carry out this resolution as written.

Should the Board endorse the proposed revisions, Staff recommends that a motion be made and seconded to accept the resolution and allow discussion to ensure that the resolution reads to the satisfaction of the Board. Staff then recommends that a Board Member postpones the resolution to the next available Board Meeting no less than 30-days from the postponement to comply with Civil Code §4360.

Attachment 2



THIRD LAGUNA HILLS MUTUAL

SECTION 12 EXTERIOR WALL ATTACHMENTS

MARCH 1983 REVISED APRIL 1996, RESOLUTION M3-96-28 GENERAL REQUIREMENTS REVISED APRIL 2011, RESOLUTION 03-11-49 <u>REVISED</u> APRIL 2018, RESOLUTION 03-178-XX

SECTION 12-

1.0 GENERAL REQUIREMENTS

FOR GENERAL REQUIREMENTS SEE SECTION 1 GENERAL REQUIREMENTS FOR ALTERATION STANDARDS

1.0 GENERAL REQUIREMENTS

- 1.1 PERMITS AND FEES: A Mutual permit is required for all alterations to the building. A City of Laguna Woods permit may be required. All fees for both Mutual and City permits shall be paid for by the Member and/or his or her contractor. Member and/or his or her contractor must provide the Manor Alterations Department with City permit number(s) prior to beginning work.
- **1.2** <u>MEMBERS' RESPONSIBILITY:</u> The Member is solely responsible for the maintenance, repair, and/or removal of all alterations to the building.
- **1.3 <u>CODES AND REGULATIONS:</u>** All work shall comply with all applicable local, state, and federal requirements.
- 1.4 WORK HOURS: No work shall commence prior to 7:00a.m. and no work shall be permitted after 6:00p.m. Monday through Friday. Work on Saturday shall be permitted from 9:00a.m 2:00p.m. for work which results in construction-related noise (e.g. cutting tile, hammering, use of power tools). For work that does not result in excessive noise, such as painting and carpet installation, permitted hours are 7:00a.m. 6:00p.m. No work whatsoever shall be permitted on Sunday.
- **1.5** <u>PLANS:</u> The Member applying for a permit shall provide to the Permits and Inspections office a detailed plan(s) for approval indicating all work to be done, i.e., size, location, description and specifications.



- 1.6 <u>DUMPSITES:</u> The premises shall be kept free of accumulation of waste materials and/or rubbish caused by construction work. The Member and/or his or her contractor is responsible for removal of debris and excess material and must leave work areas "BROOM CLEAN" daily. USE OF COMMUNITY DUMPSITES FOR CONSTRUCTION RELATED DUMPING IS NOT PERMITTED. Contractor's or Member's dumpsters, if required, must have location approved by the Permits and Inspections office.
- **1.7** <u>CONTRACTOR:</u> Installation must be performed by a California licensed contractor of the appropriate trade.
- **1.8** <u>CONTRACTOR'S CONDUCT:</u> Member's contractor's, their personnel, and sub-contractors shall refrain at all times from using profanity, abusive or loud language, and must wear shirts at all times. Radio, MP3, CD or cassette players are not permitted on the project site. Contractor personnel will, at all times, extend and exhibit a courteous demeanor to residents.

2.0 APPLICATIONS

- 2.1 No attachments may cover any electrical outlets or junction boxes.
- **2.2** No attachments may cover over plumbing access covers, cleanouts, or shutoffs.
- **2.3** No attachments may cover any vents, openings, or related items that will violate building code or hinder access in any way.
- **2.4** All attachments must be permanent in nature and not subject to extreme weathering or deterioration.
- **2.5** Any exterior wall attachment will be limited to only those walls which face limited common areas, such as patios or atriums.

3.0 <u>TILE AND VENEER PAVERS</u>

- **3.1** Tile <u>pavers and veneer</u> used on a vertical surface exterior wall must be attached with thin set/epoxy mortar mixes.
- **3.2** Tile <u>and veneer</u> used as a brick veneer will be limited to use on stucco covered exterior chimneys and entryway columns.



3.3 Tile must match in color, design, and size as close as possible any brickwork on building existing.

4.0 TRELLIS AND WROUGHT IRON DESIGNS

- **4.1** Any_-trellis attached to a wall must be painted the same color as the wall.
- **4.2** Trellis and wrought iron shall be within 12" of walls and not used as screens, shades, or shields, nor higher than wall to which it is attached to.
- **4.3** Wrought iron shall be <u>easily</u> removable for <u>access to the wall for</u> painting purposes.
- **4.4** All lags or screws into walls must be sealed prior to installation to prevent water penetration.
- 4.5 All trellis and wrought iron shall be mounted vertically.

5.0 MURALS, AND WALL HANGINGS

- **5.1** Any installation of murals or wall hangings shall be limited to patio and atrium locations. No installation will protrude above the height of a patio wall.
- **5.2** Visual access through a wrought iron gate will be considered to be within the above statement and not a factor.



THIRD LAGUNA HILLS MUTUAL

SECTION 14 FIREPLACE INSTALLATIONS

JANUARY 1989 REVISED APRIL 1996, RESOLUTION M3-96-28 GENERAL REQUIREMENTS REVISED APRIL 2011, RESOLUTION 03-11-49 REVISED MAY 2013, RESOLUTION 03-13-55 <u>REVISED APRIL 2018, RESOLUTION 03-18-XX</u>

1.0 GENERAL REQUIREMENTS

FOR GENERAL REQUIREMENTS SEE SECTION 1 GENERAL REQUIREMENTS FOR ALTERATION STANDARDS

1.0 GENERAL REQUIREMENTS

- 1.1 <u>PERMITS AND FEES:</u> A Mutual permit is required for all alterations to the building. A City of Laguna Woods permit may be required. All fees for both Mutual and City permits shall be paid for by the Member and/or his or her contractor. Member and/or his or her contractor must provide the Permits and Inspections office with City permit number(s) prior to beginning work.
- **1.2** <u>MEMBERS' RESPONSIBILITY:</u> The Member is solely responsible for the maintenance, repair, and/or removal of all alterations to the building.
- **1.3** <u>CODES AND REGULATIONS:</u> All work shall comply with all applicable local, state, and federal requirements including, but not limited to, the current edition of the National Electric Code (NEC).
- 1.4 <u>WORK HOURS</u>: No work shall commence prior to 7:00a.m. and no work shall be permitted after 6:00p.m. Monday through Friday. Work on Saturday shall be permitted from 9:00a.m 2:00p.m. for work which results in construction-related noise (e.g. cutting tile, hammering, use of power tools). For work that does not result in excessive noise, such as

painting and carpet installation, permitted hours are 7:00a.m. – 6:00p.m. No work whatsoever shall be permitted on Sunday.

- **1.5** <u>**PLANS:**</u> The Member applying for a permit shall provide to the Permits and Inspections office a detailed plan(s) for approval indicating all work to be done, i.e., size, location, description and specifications.
- 1.6 <u>DUMPSITES:</u> The premises shall be kept free of accumulation of waste materials and/or rubbish caused by construction work. The Member and/or his or her contractor is responsible for removal of debris and excess material and must leave work areas "BROOM CLEAN" daily. USE OF COMMUNITY DUMPSITES FOR CONSTRUCTION RELATED DUMPING IS NOT PERMITTED. Contractor's or Member's dumpsters, if required, must have location approved by the Permits and Inspections office.
- **1.7** <u>CONTRACTOR:</u> Installation must be performed by a California licensed contractor of the appropriate trade.
- **1.8** <u>CONTRACTOR'S CONDUCT:</u> Member's contractor's, their personnel, and sub-contractors shall refrain at all times from using profanity, abusive or loud language, and must wear shirts at all times. Radio, MP3, CD or cassette players are not permitted on the project site. Contractor personnel will, at all times, extend and exhibit a courteous demeanor to residents.

2.0 APPLICATIONS

- **2.1** All installations must meet the Southern California Air Quality Management District (SCAQMD) Rule 445 Wood Burning Devices as required by the City of Laguna Woods (949-639-0500).
- **2.2** All units shall be constructed to the same height as originally designed units.
- **2.3** Fireplaces will be permitted to be built only as a part of a building where a fireplace had been an optional item during construction and shall be located as shown on the original plan.
- **2.4** The exterior design and construction shall be as originally planned.
- **2.5** Fireplaces will be permitted to be removed in single story manors.
- **2.6** The installation of a carbon monoxide detector is required when a fireplace is installed if one does not exist.

3.0 SPARK ARRESTORS

- **3.1** Spark arrestors will be required for new units.
- **3.2** Spark arrestors shall be flat wire or screen type as part of the flue assembly designed for the unit.
- **3.3** A permit will be required for installation of spark arrestors or rain caps for existing fireplaces. Some units, depending upon design and color, may be required to be painted to match the building or chimney color.
- **3.4** No spark arrestor or rain cap may protrude higher than 12" above the flue exit.



THIRD LAGUNA HILLS MUTUAL

SECTION 16 GARAGE DOORS, SECTIONAL OR ONE PIECE

JANUARY 1993 REVISED AUGUST 2002, RESOLUTION M3-02-39 GENERAL REQUIREMENTS REVISED APRIL 2011, RESOLUTION 03-11-49 REVISED DECEMBER 2014, RESOLUTION 03-14-141 REVISED SEPTEMBER 2015, RESOLUTION 03-15-127 <u>REVISED APRIL 2018, RESOLUTION 03-18-XX</u>

1.0 GENERAL REQUIREMENTS

FOR GENERAL REQUIREMENTS SEE SECTION 1 GENERAL REQUIREMENTS FOR ALTERATION STANDARDS

1.0 GENERAL REQUIREMENTS

- 1.1 <u>PERMITS AND FEES:</u> A Mutual Consent for Manor Alteration(s) is required for all alterations to the building. A City of Laguna Woods permit may be required. All fees for both Mutual Consents and City permits shall be paid for by the Member and/or his or her contractor. Member and/or his or her contractor must provide the Manor Alterations Department with City permit number(s) prior to beginning work.
- **1.2** <u>MEMBERS' RESPONSIBILITY:</u> The Member is solely responsible for the maintenance, repair, and/or removal of all alterations to the building.
- **1.3** <u>CODES AND REGULATIONS:</u> All work shall comply with all applicable local, state, and federal requirements including, but not limited to, the current edition of the National Electric Code (NEC).
- 1.4 <u>WORK HOURS:</u> No work shall commence prior to 7:00a.m. and no work shall be permitted after 6:00p.m. Monday through Friday. Work on Saturday shall be permitted from 9:00a.m 2:00p.m. for work which results in construction-related noise (e.g. cutting tile, hammering, use of power tools). For work that does not result in excessive noise, such as

painting and carpet installation, permitted hours are 7:00a.m. – 6:00p.m. No work whatsoever shall be permitted on Sunday.

- **1.5** <u>**PLANS:**</u> The Member applying for a permit shall provide to the Manor Alterations Department a detailed plan(s) for approval indicating all work to be done, i.e., size, location, description and specifications.
- 1.6 <u>DUMPSITES:</u> The premises shall be kept free of accumulation of waste materials and/or rubbish caused by construction work. The Member and/or his or her contractor is responsible for removal of debris and excess material and must leave work areas "BROOM CLEAN" daily. USE OF COMMUNITY DUMPSITES FOR CONSTRUCTION RELATED DUMPING IS NOT PERMITTED. Contractor's or Member's dumpsters, if required, must have location approved by the Manor Alterations Department.
- **1.7** <u>CONTRACTOR:</u> Installation must be performed by a California licensed contractor of the appropriate trade.
- **1.8** <u>CONTRACTOR'S CONDUCT:</u> Member's contractor's, their personnel, and sub-contractors shall refrain at all times from using profanity, abusive or loud language, and must wear shirts at all times. Radio, MP3, CD or cassette players are not permitted on the project site. Contractor personnel will, at all times, extend and exhibit a courteous demeanor to residents.

2.0 APPLICATIONS

- **2.1** No garage door will be installed that requires modification to the building structure.
- **2.2** Garage doors shall utilize existing door frames with only minor modifications to facilitate fit and clearances.
- 2.3 With the exception provided in paragraph 2.4, all garage doors in multiunit buildings shall be selected and/or painted to maintain an appearance that conforms to the approved paint color criteria as dictated by the Mutual's Policy on Exterior Paint Colors and Procedures. The style and color of all doors installed shall be selected to match other garage doors in the same building.
- **2.4** Alteration metal garage doors with a white/off-white factory finish are exempt from being painted during the Exterior Paint Program when white/off-white is part of the approved color scheme for that particular building.
- **2.5** All garage doors shall be of aluminum, wood or steel construction. Onepiece or sectional panel style is optional. Sectional style shall be limited to five panels maximum.

- **2.6** Built-in self closing mail slots are permissible.
- **2.7** Built-in windows in the top panel or second from the top panel of a sectional panel style garage door are permissible.
- **2.8** All design or patterns including window shape and size must be in keeping with the architecture of the building. Approval by the Permits and Inspections office will be deemed in keeping with the existing architecture of the building.
- **2.9** No built-in type access or pet doors will be permitted.