



OPEN MEETING

**REGULAR MEETING OF THE THIRD LAGUNA HILLS MUTUAL
ARCHITECTURAL CONTROL AND STANDARDS COMMITTEE**

**Monday, February 26, 2018 – 9:30 a.m.
Laguna Woods Village Community Center Sycamore Room
24351 El Toro Road**

NOTICE AND AGENDA

1. Call to Order
2. Acknowledgement of Media
3. Approval of the January 18, 2018 Report
4. Approval of the Agenda
5. Chair Remarks
6. Member Comments - *(Items Not on the Agenda)*
7. Department Head Update

Consent:

All matters listed under the Consent Calendar are considered routine and will be enacted by the Committee by one motion. In the event that an item is removed from the Consent Calendar by members of the Committee, such item(s) shall be the subject of further discussion and action by the Committee.

Reports:

8. Review Staff's Recommendations for Standard 19 – Balcony Modesty Paneling
9. Review Proposed Closet/Partition Walls Policy

Items for Discussion and Consideration:

10. 3191-D (La Reina, PL804RA) - Replace Existing Enclosed Rear Patio with Room Addition
11. 3238-B (La Reina, SM903B) - Room Addition on Front Patio
12. 5037 (Villa Reposa, C11RC) - Room Addition and Patio Cover on Rear Patio
13. Review Next Steps for Standards 5a, 5b, and 5c – Satellite Dishes
14. Review Architectural Standard 12 – Exterior Wall Attachments
15. Review Architectural Standard 14 – Fireplaces and Discuss Next Step
16. Review Architectural Standard 16 – Garage Doors and Discuss Next Step

Items for Future Agendas

Concluding Business:

17. Committee Member Comments
18. Date of Next Regular Meeting and Bus Tour – March 26, 2018
19. Adjourn

Bill Walsh, Chair
Kurt Wiemann, Staff Officer
Eve Morton, Alterations Coordinator: 949-268-2565



OPEN MEETING

**REGULAR MEETING OF THE THIRD LAGUNA HILLS MUTUAL
ARCHITECTURAL CONTROL AND STANDARDS COMMITTEE**

**Thursday, January 18, 2018 – 9:30 a.m.
Laguna Woods Village Community Center Sycamore Room
24351 El Toro Road**

(The Bus Tour for Directors and Advisors may follow this meeting)

REPORT

MEMBERS PRESENT: Chair – Bill Walsh, John Frankel, Steve Parsons, Roy Bruninghaus, Bert Moldow, Rosemarie diLorenzo and VMS Director Dennis O'Connor

MEMBERS ABSENT: Steve Parsons

ADVISORS PRESENT: Mike Butler and Bob Hatch

STAFF PRESENT: Kurt Wiemann, Gavin Fogg, and Eve Morton

1. Call to Order

Chair Walsh called the meeting to order at 9:30 a.m.

2. Acknowledgement of Media

No media were present.

3. Approval of the Agenda

Director Di Lorenzo made a motion to approve amending the agenda by adding "Review Standards 10, 11, and 12" to the agenda. Director Frankel seconded. The Committee was in unanimous support.

4. Approval of December 18, 2017 Report

Director Frankel moved to approve the Report. Director Bruninghaus seconded. The Committee approved unanimously.

5. Committee Chair Remarks

Chair Walsh reported that the questions the Committee discussed regarding fireplaces at the last meeting were brought up with legal and that the residents own the fireplace box and the flues are owned by the Mutual. Staff was asked to put the fireplace Standard back onto the next agenda. Chair Walsh will follow up with Brad Hudson, Ernesto Munoz, and legal about this topic before the next Committee meeting.

Chair Walsh reported that he has assumed the role of Chair of the Committee as Director Bert Moldow has stepped aside.

Staff was asked to have Corporate Secretary include the redlined version of any proposed modifications to a Standard into the Board packets.

Advisor Butler asked Staff to add the number 1.0 to the note regarding General Requirements section of each Standard.

6. Member Comments - (Items Not on the Agenda)

(3028-B) Helvia Miller was told she would be informed when her neighbor's variance request would be on the agenda. She asked about earthquake insurance and about what she could do about a smoking neighbor.

7. Department Head Update

Mr. Wiemann reported that he felt the previous variance approval letters were incomplete because they weren't informing residents about next steps after their variance is approved. Staff will now be sending the forms a resident needs to fill out and return with the approval letter to save residents a trip to Resident Services. He also reported that another Inspector is being hired.

Director Moldow inquired asked about status of the new alterations pamphlet and Staff informed him it was being worked on at Brandtailers.

President diLorenzo asked when appointments with residents will begin. Mr. Wiemann said when Alterations will be in the new office area which will most likely be at the end of February.

Chair Walsh said the people who were denied driveway pavers still have a cracked driveway and will need information from Staff on how to remedy that. Staff said they will contact the Streets and Sidewalks Section. Director Moldow requested Staff provide the Committee the cost of fixing the cracked driveway.

Consent:

All matters listed under the Consent Calendar are considered routine and will be enacted by the Committee by one motion. In the event that an item is removed from the Consent Calendar by members of the Committee, such item(s) shall be the subject of further discussion and action by the Committee.

8. Revised Standard 13 – Fences, Wrought Iron

Chair Walsh made a motion to move this item down to discussion. Director Moldow seconded. The Committee approved unanimously.

Reports:

None

Items for Discussion and Consideration:

9. 3064-A (San Clemente, OO03_2) Window Modifications to Kitchen and Bedroom

President diLorenzo made a motion to follow Staff's recommendation to deny the relocation of the kitchen window. Director Bruninghaus seconded. The motion passed with a four to two vote.

President diLorenzo made a motion to follow Staff's recommendation to allow the relocation of the bedroom window. Director Bruninghaus seconded. The motion was approved unanimously.

10. 3386-C (Andaluz, P203RA) Retain Non-Standard Front Entry Door Color

Director Moldow made a motion to approve allowing the retention of the door color. Director Bruninghaus seconded. A vote was cast and the motion was approved unanimously.

11. Review Architectural Standard 17 – Gates

The Committee asked Staff to make some additional changes to the Standard.

The Committee requested that Staff include a redline version of the Standard in the Board packets.

The Committee requested that Staff always make a recommendation in Staff reports.

The Committee advised Staff that if the Committee makes revisions to a Standard after review; the revisions be sent directly to the Board for approval, without coming back to the Committee.

President diLorenzo made a motion to approve the modified Standard, as amended in the Committee, for gates. Director Moldow seconded. The motion was approved unanimously.

12. Review Architectural Standard 18 – Gutters and Downspouts

Director Moldow made a motion to approve the modified Standard. President diLorenzo seconded. The motion was approved unanimously.

13. Review Architectural Standard 19 – Balcony Modesty Paneling

The Committee asked Staff to make some additional minor revisions to the Standard and reflect them on a redlined version for Board approval. Additionally, Staff was directed to revise the title to Balcony Railing Panels.

After further discussion, the Committee felt that the panels should be more consistent throughout the Mutual. Staff was requested to bring recommendations of material for railing panels, with examples, to the next meeting. Staff was also requested to make a recommendation about whether permitting railing panels should continue.

14. Review Architectural Standard 21 – Patio Slabs

Director Bruninghaus made a motion to approve the revised Standard as presented. Director Frankel seconded. The motion was approved unanimously.

14a. Standard 10 – Exterior Doors

The Committee asked Staff to make some additional minor revisions to the Standard and reflect them on a redlined version for Board approval.

President diLorenzo made a motion to approve the modified Standard, as amended, and Director Bruninghaus seconded. The motion was approved unanimously.

14b. Standard 11 – Exterior Floor Coverings

The Committee asked Staff to make some additional minor revisions to the Standard and reflect them on a redlined version for Board approval.

President diLorenzo made a motion to approve the modified Standard, as amended, and Director Bruninghaus seconded. The motion was approved unanimously.

14 c. Standard 12 – Exterior Wall Attachments

The Committee asked Staff to make some additional changes to the Standard.

The Committee requested that a decision on this Standard be deferred until a later time.

14 d. Standard 13 – Fences, Wrought Iron

The Committee asked Staff to make some additional changes to the Standard.

Director Frankel made a motion to approve the modified Standard, as amended, and Director Bruninghaus seconded. The motion was approved unanimously.

Items for Future Agendas

Acoustical Solutions

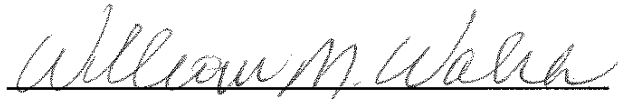
Concluding Business:

15. Committee Member Comments

Chair Walsh thanked everyone for their patience during this process of going over the Standards.

16. Date of Next Regular Meeting and Bus Tour – February 26, 2018

17. Adjourned at 12:25 p.m.



Chair, Bill Walsh

Kurt Wiemann, Staff Officer

Eve Morton, Alterations Coordinator, 268-2565



STAFF REPORT

DATE: February 26, 2018
FOR: Architectural Control and Standards Committee
SUBJECT: Revision to Section 19 Balcony Modesty Panels

RECOMMENDATION

Staff recommends the Board approve the following revisions to Mutual Standard Section 19 Balcony Modesty Panels and a policy to assure uniformity to the Community.

BACKGROUND

The Architectural Controls and Standards Committee (ACSC) requested Staff to review and revise the current Alteration Standards for applicability, usefulness, and current technology.

There are currently 40 Alteration Standards available for Members to use to perform alterations to their manor. Many have not been reviewed or updated for years to reflect changes in technology, materials, and construction methods.

The Architectural Control and Standards Committee (ACSC) requested Staff to revise Mutual standard for Section 19 - Balcony Modesty Panels which was last revised April 2011, Resolution 03-11-50. Staff was also asked to draft a policy designed to promote uniformity within the Mutual regarding balcony railing policies.

DISCUSSION

The revisions to Mutual Standard - Section 19 Balcony Modesty Panels include revising the name to "Section 19 Balcony Railing Paneling" and will now require that new installations are limited to white vinyl lattice. All vinyl lattice installed must be manufactured by Veranda® or Dimensions®; these products are readily available at Home Depot and Lowe's respectively.

Additionally, Staff proposes a new policy regarding balcony panels and the paint program. As part of the prior-to-paint program, Members are currently required to remove their balcony paneling for the paint crews to complete their work. Once the painting crews are finished, Members are permitted to reinstall their balcony paneling. Metal paneling that is permanently attached to the railing is permitted to remain and is painted by Staff to match the building.

To promote uniformity throughout the community, Staff is recommending the Board approve a policy that when Members remove the paneling as part of the prior to paint program, upon completion of the painting, Members that would like to replace their panels would be required to replace their paneling with vinyl lattice. If the existing paneling is metal, permanently attached to the railing, and was painted by Staff in the Paint Program, it will be permitted to stay.

These revisions would continue to allow members to install privacy panels to their balcony railings, but will focus on maintaining uniformity throughout the community by permitting only vinyl lattice. All other railing types would be required to go through the variance process.

Prepared By: Brett Crane, Alterations Supervisor

Reviewed By: Kurt Wiemann, Permits, Inspections & Restoration Manager
Eve Morton, Alterations Coordinator

ATTACHMENT(S)

Attachment 1 – Policy

Attachment 2 – Redline of Revised Mutual Standard 19 "Balcony Railing Paneling"



Attachment 2

Balcony Railing Paneling Policy

RESOLUTION 03-XX-XXX

WHEREAS, the installation of various types of materials for balcony railing panels on balconies has led to an inconsistent aesthetics within the Mutual; and

WHEREAS, the Board desires to provide a consistent appearance through the Mutual; and

WHEREAS, during the Prior to Paint Program members are required to remove balcony railing panels to allow Staff to paint the railings. Upon completion of painting, Members are permitted to replace the panels after painting.

NOW THEREFORE BE IT RESOLVED, March 20, 2018, the Board of Directors shall only allow the installation of balcony railing panels per Standard Section 19; and

RESOLVED FURTHER, when the Prior to Paint Program requires Members to remove the balcony railing panels from the balcony so the painting crews can complete their work; and

RESOLVED FURTHER, that when the member requests to replace the balcony railing panels that they conform with Standard Section 19 to maintain uniformity throughout the community; and

RESOLVED FURTHER, that when Members remove the paneling as part of the Prior to Paint Program, upon completion of the painting, Members that desire to replace their panels would be required to replace their paneling with vinyl lattice. If the existing paneling is metal, permanently attached to the railing, and painted by Staff in the Paint Program, it will be permitted to stay; and

RESOLVED FURTHER, that the officers and agents of this Corporation are hereby authorized on behalf of the Corporation to carry out the purpose of this resolution



SECTION 19 BALCONY RAILING PANELING

JANUARY 1989

APRIL 1996, RESOLUTION M3-96-28

REVISED JANUARY 2007, RESOLUTION 03-07-01

REVISED APRIL 2011, RESOLUTION 03-11-50

GENERAL REQUIREMENTS REVISED APRIL 2011, RESOLUTION 03-11-49

GENERAL REQUIREMENTS REMOVED JANUARY 2018, RESOLUTION 03-18-XX

REVISED FEBRUARY-MARCH 2018, RESOLUTION 03-18-XX

1.0 — GENERAL REQUIREMENTS

1.0 GENERAL REQUIREMENTS

For General Requirements See
Section 1 General Requirements for Alteration Standards

1.1 — PERMITS AND FEES: A Mutual permit is required for all alterations to the building. A City of Laguna Woods permit may be required. All fees for both Mutual and City permits shall be paid for by the Member and/or his or her contractor. Member and/or his or her contractor must provide the Permits and Inspections office with City permit number(s) prior to beginning work.

1.2 — MEMBERS' RESPONSIBILITY: The Member is solely responsible for the maintenance, repair, and/or removal of all alterations to the building.

1.3 — CODES AND REGULATIONS: All work shall comply with all applicable local, state, and federal requirements including, but not limited to, the current edition of the National Electric Code (NEC).

1.4 — WORK HOURS: No work shall commence prior to 7:00a.m. and no work shall be permitted after 6:00p.m. Monday through Friday. Work on Saturday shall be permitted from 9:00a.m. — 2:00p.m. for work which results in construction-related noise (e.g. cutting tile, hammering, use of power tools). For work that does not result in excessive noise, such as painting and carpet installation, permitted hours are 7:00a.m. — 6:00p.m. No work whatsoever shall be permitted on Sunday.



- ~~1.5 — **PLANS:** The Member applying for a permit shall provide to the Permits and Inspections office a detailed plan(s) for approval indicating all work to be done, i.e., size, location, description and specifications.~~
- ~~1.6 — **DUMPSITES:** The premises shall be kept free of accumulation of waste materials and/or rubbish caused by construction work. The Member and/or his or her contractor is responsible for removal of debris and excess material and must leave work areas "**BROOM CLEAN**" daily. **USE OF COMMUNITY DUMPSITES FOR CONSTRUCTION RELATED DUMPING IS NOT PERMITTED.** Contractor's or Member's dumpsters, if required, must have location approved by the Permits and Inspections office.~~
- ~~1.7 — **CONTRACTOR:** Installation must be performed by a California licensed contractor of the appropriate trade.~~
- ~~1.8 — **CONTRACTOR'S CONDUCT:** Member's contractor's, their personnel, and sub-contractors shall refrain at all times from using profanity, abusive or loud language, and must wear shirts at all times. Radio, MP3, CD or cassette players are not permitted on the project site. Contractor personnel will, at all times, extend and exhibit a courteous demeanor to residents.~~

2.0 APPLICATIONS

- 2.1 All balcony modesty railing panels ~~will~~shall be attached directly to the railing. No panels shall be attached to the building, deck, or flooring.
- 2.2 Paneling height may be up to ~~one foot lower than~~ the top railing; and ~~must reach fully to~~extend no further than the bottom of the railing. Paneling shall not extend to the balcony deck. Paneling ~~will~~must cover the railing completely from side to side, and ~~will~~shall not extend beyond any existing railing.
- 2.3 All paneling ~~will~~shall be rigid and easily removable.



~~2.4 — Corrugated fiberglass, masonite, and other such less weather-proof items will not be permitted.~~

2.5 Paneling may be of white vinyl lattice only as manufactured by Veranda® or Dimensions®; ~~—or existing attached —~~ metal panels that ~~that has no openings or gaps and is~~ are painted to match the color of the wall to which the railing is attached may remain.

2.6 Paneling ~~will~~ shall be attached ~~only~~ to the inside portion of handrails.



STAFF REPORT

DATE: February 26, 2018
FOR: Architectural Control and Standards Committee
SUBJECT: Closets and Interior Partition Walls Policy

RECOMMENDATION

Approve a Resolution to introduce the Closets and Interior Partitions Policy.

BACKGROUND

The Architectural Controls and Standards Committee (ACSC) reviews numerous Variance Requests to relocate closets and small sections of walls to accommodate minor alterations. Staff has reviewed the history and typicality of the requests and developed an alternative to the lengthy Variance Request process.

DISCUSSION

Staff reviews numerous requests each year for minor alterations that are controlled by over-the-counter Mutual Consents, such as kitchen improvements and water heater relocations. When one of these alterations involves relocating a partition wall, because the existing Alteration Standards do not cover all possible scenarios, the alteration would be automatically reviewed as a variance. In an effort to reduce the number of Variance Requests and reduce the time for alteration approval, Staff has reviewed previous Variance Requests that include minor partition wall revisions.

After completing the review, staff has determined that developing an Alteration Standard that would be able to encompass all possible variations would be problematic. Consequently Staff has developed the Closets and Interior Partitions Policy that would give the discretion to approve minor alterations that include a minor wall revision at the Staff level.

The proposed policy would allow Staff to approve minor, non load-bearing wall relocations, such as those necessary for closets, kitchen partitions, and water heater closets, when reviewing Mutual Consent applications. The policy would restrict Staff from approving wall relocations that affect room usage, create new rooms, or affect load bearing walls. Those alterations would still be required to go through the variance process.

FINANCIAL ANALYSIS

None

Third Laguna Hills Mutual
Closets and Interior Partition Walls Policy
February 26, 2018

Prepared By: Kurt Wiemann, Permits, Alterations and Restoration Manager

Reviewed By: Eve Morton, Alterations Coordinator

Committee Routing: Architectural Controls and Standards Committee

ATTACHMENT(S)

Attachment 1: Closets and Interior Partitions Policy

ATTACHMENT 1

Closets and Interior Partition Walls Policy

RESOLUTION 03-18-XXX

WHEREAS, the Architectural Control and Standards Committee directed Staff to create a policy pertaining to closets and interior partition walls for members who are proposing to repurpose or relocate a closet or partition wall within their Manor.

NOW THEREFORE BE IT RESOLVED, April 17, 2018, The Board of Directors adopts resolution 03-18-XXX, Closets and Interior Partition Walls Policy; and

RESOLVED FURTHER, architectural drawings shall be provided for approval to the Alterations Division Office for review and to meet the intent of this policy, for all non-load-bearing wall (partition wall) revisions including but not limited to closets or panel walls, prior to issuance of a Mutual Consent from the Alterations Department and before construction begins; and

RESOLVED FURTHER, Staff shall thoroughly review the submitted drawings; if Staff determines that the proposed alteration does not affect load bearing walls or alter the original purpose of the room(s), meets the intent of this policy, and conforms to all pertinent Alteration Policies, Staff may issue a Mutual Consent; and

RESOLVED FURTHER, if Staff determines that the proposed alteration does not meet the intent of this policy and the Member desires to pursue the proposed alteration, staff shall process the request as a Variance for review by the Architectural Controls and Standards Committee; and

RESOLVED FURTHER, all proposals of load-bearing wall revisions will require Board approval via the Variance process; and

RESOLVED FURTHER, any proposed wall revision that would create a new room or change the use of a room will require Board approval through the Variance process; and

RESOLVED FURTHER, that the officers and agents of this Corporation are hereby authorized on behalf of the Corporation to carry out the purpose of this resolution.



STAFF REPORT

DATE: February 26, 2018
FOR: Architectural Control and Standards Committee
SUBJECT: Variance Request
Mr. and Mrs. Richard and Heidi Penkava of 3191-D (La Reina, PL804RA)
Replace Existing Enclosed Rear Patio with Room Addition

RECOMMENDATION

Staff recommends the Board approve the request for a room addition rear patio with the conditions as stated in Appendix A.

BACKGROUND

Mr. and Mrs. Penkava of 3191-D Via Buena Vista, a La Reina style manor, is requesting Board approval of a variance to construct a room addition on the same footprint as the existing enclosed rear patio (Attachment 1).

Unit 3191-D had a rear patio cover installed via Mutual Consent 953b in 1978. In 1993, via Mutual Consent 92732, a glass windscreen was installed. A replacement patio cover was installed via Mutual Consent 99922 in 1999.

The cost of the proposed alteration would be borne by the Member.

DISCUSSION

The original rear patio depicted on the condominium plan is 16 feet wide by 7 feet long. The existing patio measures 19 feet wide by 10 feet, 6 inches long, which is an increase of 87.5 square feet. There is no record of when the patio was extended. As mentioned above, a patio cover was installed in 1978. If the slab was extended at that time, it meets the criteria established in the Decision Tree. The records indicate that it was there when the existing glass windscreen was installed in 1993. If this variance is approved, a Common Area Agreement will be included in the Conditions of Approval.

The Penkavas' propose to demolish the existing windscreen enclosure and replace it with a room addition using wood frame construction with drywall and exterior stucco finish to match the existing building.

The room addition would have a new gable roof with a 4:12 pitch to match the existing roof. Asphalt shingles to match the existing roof material will be used. The new roof would be 12 feet in height where it intersects the existing roof. The ridgeline of the existing roof is 13 feet, 9 inches.

The east elevation of the room addition will have two sliding windows measuring 6 feet wide by 3 feet tall. The south elevation will have a 4 foot tall by 3 foot wide window. All windows will match the existing header height of 6 feet, 8 inches and will be required to meet the applicable Mutual Standards.

Acoustic considerations for common walls have been added to the conditions of approval (Appendix A).

A City permit that would ensure Title 24 is met will be required for Mutual approval.

Staff determined there would be no impairment of the structural integrity or mechanical systems of the surrounding buildings or lessening of its support.

A City of Laguna Woods building permit final would verify compliance with all applicable building codes to include light, ventilation, and egress.

There were no previous examples of room additions on rear patios for La Reina style units on files from previous Variances.

A Neighbor Awareness Notice was sent to units 3191-C, 3192-A, 3192-B and 3193-A on February 13, 2018 due to sharing common walls or being potentially affected during construction.

At the time of preparing this report, there are no open Mutual Consents for Manor 3191-D.

All future costs and maintenance associated with the subject alterations are the responsibility of the Mutual member(s) at 3191-D.

Prepared By: Gavin Fogg, Alterations Inspector II

Reviewed By: Kurt Wiemann, Permits, Inspections & Restoration Manager

ATTACHMENT(S)

Appendix A: Conditions of Approval

Attachment 1: Site Plan

Attachment 2: Variance Request

Attachment 3: Photos

Attachment 3: Map

APPENDIX A

CONDITIONS OF APPROVAL

Conditions of approval would be as follows:

1. A Mutual Consent for Manor Alterations has been granted at **3191-D** for **Rear Patio Room Addition**, subject to the attached plans stamped approved and is subject to the final inspection by the Division. Any variations to the approved attached plans are not allowed and could result in a stop work notice and/or severe fines to the Member.
2. Member Owner(s) of the Property must sign and submit to the Mutual, c/o VMS, Inc., at the Division office located in the Laguna Woods Village Community Center, an executed and notarized "Recordable Common Area Agreement" for a proposed improvement that would utilize any portion of the Mutual's Common Area. Prior to the issuance of a Mutual Consent for Manor Alterations, that "Recordable Common Area Agreement" must be filed with the Orange County Clerk/Recorder.
3. A City of Laguna Woods permit is required, which may include the requirement to obtain clearance from the South Coast Air Quality Management District (Asbestos Hot Line at (909) 396-2336). Prior to the issuance of a Mutual Consent for Manor Alterations, the appropriate City of Laguna Woods permit number(s) must be submitted to the Division office located in the Laguna Woods Village Community Center. The City permit must be finalized within the prescribed timeframe, and a copy of the final permit must be submitted to the Division within two weeks.
4. Prior to the issuance of a Mutual Consent for Manor Alterations, a complete set of unit specific plans prepared by a licensed architect or structural engineer depicting the proposed improvement must be submitted to the Division office located in the Laguna Woods Village Community Center. The plans must depict any required structural modifications ensuring the structural integrity of the building is maintained upon completion of the proposed improvement.
5. Prior to the issuance of a Mutual Consent for Manor Alterations, if required, a Mutual Roof Alteration Notification ("Tie-In Form") must be submitted to the Division. All roof tie-ins must be performed by a C-39 Licensed Contractor. The Member Owner may hire a C-39 Licensed Contractor of his/her own choice to perform roof tie-ins for the installation of solar panels on all roof types except PVC Cool Roofs. For PVC Cool Roofs, regardless of the roof type, all tie-ins must be performed by the Mutual's roofing contractor at the Member Owner's expense. All tie-ins may only be made to sound structural elements. Existing structural elements proposed to be tied to, which exhibit signs of dry rot or other structural defects, must first be replaced or repaired at the Member Owner's expense during construction of the improvement.
6. Prior to the issuance of a Mutual Consent for Manor Alterations, the Member Owner shall request a Landscape Department inspection in order to assure all landscape, irrigation, and drainage modifications associated with the improvements are identified and completed by the Landscape Department at the expense of the Member Owner. All gutter drainage shall be directed away from structures, free standing walls, foundations, and pedestrian walkways.
7. Prior to the issuance of a Mutual Consent for Manor Alterations, any altered exterior

surface should match the Building color; vinyl fence/gate will be either white or taupe, tubular steel or wrought iron fence/gate will be black or white; the approved colors and materials are identified as "Third Laguna Hill Mutual Color Selections" at Resident Services, located at the Community Center first floor.

8. This approval does not change the number of bedrooms or the original maximum occupants permitted in the Manor.

9. Prior to the Issuance of a Mutual Consent for Alterations, acoustical impacts shall be considered and will require noise reducing material such as sound dampening drywall on common walls of the alteration (such as QuietRock® drywall panels or similar approved products).

10. No improvement shall be installed, constructed, modified or altered at Manor 3191-D, ("Property") within the Third Laguna Hills Mutual ("Mutual") unless and until a Mutual Consent for Manor Alterations application for the improvement has been made to, and approved, in writing, by, the Village Management Services, Inc. ("VMS, Inc."), Manor Alterations Division ("Division"), or, in the event of a Variance from the Mutual's Alteration Standards, the Architectural Control and Standards Committee ("ACSC"). In the event written permission is given for the installation, construction, modification or alteration of any improvement(s) upon the Property, the Member Owner or Owners ("Member Owner") agrees to comply with the Mutual's Governing Documents and any specific terms or conditions imposed, and that the installation, construction, modification or alteration shall be in strict compliance with the terms of the approval.

11. Member Owner hereby consents to and grants to the Mutual and the Division, and their representatives, a right of entry upon the Property at any time to be used to inspect the Property and the improvements thereon and for the Mutual and the Division, and their representatives and contractors to remedy any violation upon the Property, including, but not limited to, removing trash, removing any improvement installed without approval or modifying an improvement to bring the same into compliance with the terms of the approval.

12. All costs for maintenance, repair, renovation, replacement or removal of the improvement, present and future, are the responsibility of the Property's Member Owner at 3191-D and all future Mutual members at 3191-D.

13. Member Owner shall be responsible for all activity by contractors, subcontractors, material suppliers and their employees and agents and any others who perform work on the Property, including any violation of the Mutual's Governing Documents, including, but not limited to, traffic and parking violations, maintenance of a clean job site at all times, and use of Mutual property for storage of equipment or materials without prior approval. Member Owner acknowledges and agrees that all such persons are his/her invitees. Member Owner shall be responsible for informing all his/her invitees of the Mutual's Rules and Regulations.

14. Member Owner shall be liable for any violation of the Mutual's Governing Documents by any invitee, including any fine, assessment, traffic or other charge levied in connection therewith.

15. Member is responsible for following the gate clearance process (<http://www.lagunawoodsvillage.com/residents/resident-services> and click on documents and Business Pass Application Instructions) in place to admit contractors and other invites.

16. Member Owner's contractors and other invitees shall have business signage on vehicles and travel to and from the job site by the most direct route available and are not authorized to use Mutual recreational facilities or other amenities while they are in the Village for performance of work in connection with the Property.

17. Parking of contractors or other invitees' vehicles is prohibited in covered resident parking, open resident spaces, handicapped spaces or fire lanes. Contractors or other invitees must park on the street. To the extent possible contractors' or other invitees' vehicles should be limited in number.

18. Prior to the Issuance of a Mutual Consent for Unit Alterations, the Member shall post a Conformance Deposit in the amount of \$250 for all improvements exceeding a total of \$500. The Conformance Deposit will be held until Final City Building Permit Issuance if required, to assure no damages to Mutual property occurs during construction, including, but not limited to, internet/TV, landscaping, or exterior walls/roof.

19. The Conformance Deposit shall be held by the Mutual and applied, at the Mutual's sole discretion, to any fine levied against the Member Owner or the Property, to cover and/or recoup any costs whatsoever, including, but not be limited to, administrative and legal costs, incurred by the Mutual or VMS, Inc., in connection with the Property, or to any unpaid charges or assessments on the Mutual's account for the Property. For example, the Mutual could apply all or a portion of the Conformance Deposit to cover the following: fines levied against any invitee of Member Owner; fines levied for construction violations; costs incurred by the Mutual in repairing damage to Mutual property caused by Member Owner's contractor or other invitee; costs incurred by the Mutual in curing a violation on the Property; costs incurred in removing or altering an improvement upon the Property; or to an unpaid assessment, special assessment, late charge, interest or collection costs posted to the Mutual's account for the Property. The foregoing list is illustrative only and in no way represents the only situations where the Mutual could apply all or a portion of the Conformance Deposit.

20. If at any time the amount of the Conformance Deposit falls below 3/4ths of the amount originally required to be posted, Member Owner agrees to immediately deposit additional sums with the Mutual in an amount sufficient to return the Conformance Deposit to the originally required level. Until the Conformance Deposit is so replenished, an automatic stop work order shall be in effect.

21. Any remaining Conformance Deposit is refundable if the Member Owner notifies the Division, in writing, that the improvement(s) for which the Conformance Deposit was posted have been completed in accordance with the approval, and the Division agrees with the same. The Mutual will mail the unused portion of the Conformance Deposit, if any, to the Member Owner's address of record with the Mutual. Under no circumstances shall Member Owner be entitled to any interest on any portion of the Conformance Deposit. If no written request for return of a Conformance Deposit is made by Member Owner within two years from the date when the Conformance Deposit is posted with the Mutual, the Conformance Deposit will be deemed forfeited to the Mutual.

22. All improvements must be installed in accordance with the California State Building Code, and the published Mutual Architectural Alterations Standards. See <http://www.lagunawoodsvillage.com>.

23. During construction, work hours established by the Mutual and the Noise Ordinance set forth in the City of Laguna Woods Municipal Code must be adhered to at all times.
24. During construction, both the Mutual Consent for Manor Alterations and the City Building Permit must be on display for public view at all times in a location approved by the Division.
25. It is mandatory that no waste or materials associated with the construction be dumped in the Village trash bins; such waste or materials associated with the construction must be disposed of offsite by the contractor.
26. The Mutual Consent for Manor Alterations expires six months after the date of approval, unless an application is submitted with fees and approved by the Division for an extension. Only one extension for a maximum of an additional six months may be granted.
27. Violations of the forgoing conditions or the Mutual's Governing Documents (See <http://www.lagunawoodsvillage.com>), including, but not limited to, work outside the approved plans, excessive noise, illegal dumping, or working after hours, will result in disciplinary action, which could result in a stop work notice, loss of privileges and/or severe fines to the Owner Member. Such fines left unpaid will result in forfeiture of a portion or all of the Conformance Deposit required above or other legal remedy.
28. Mutual member shall indemnify, defend and hold harmless Third and its officers, directors, committee members and agents from and against any and all claims, demands, costs, fines, judgments, settlements and any other costs, expenses, amounts and liabilities arising from Mutual member's improvements and installation, construction, design and maintenance of same.

APPENDIX A

CONDITIONS OF APPROVAL

Conditions of approval would be as follows:

1. A Mutual Consent for Manor Alterations has been granted at **3191-D** for **Rear Patio Room Addition**, subject to the attached plans stamped approved and is subject to the final inspection by the Division. Any variations to the approved attached plans are not allowed and could result in a stop work notice and/or severe fines to the Member.
2. Member Owner(s) of the Property must sign and submit to the Mutual, c/o VMS, Inc., at the Division office located in the Laguna Woods Village Community Center, an executed and notarized "Recordable Common Area Agreement" for a proposed improvement that would utilize any portion of the Mutual's Common Area. Prior to the issuance of a Mutual Consent for Manor Alterations, that "Recordable Common Area Agreement" must be filed with the Orange County Clerk/Recorder.
3. A City of Laguna Woods permit is required, which may include the requirement to obtain clearance from the South Coast Air Quality Management District (Asbestos Hot Line at (909) 396-2336). Prior to the issuance of a Mutual Consent for Manor Alterations, the appropriate City of Laguna Woods permit number(s) must be submitted to the Division office located in the Laguna Woods Village Community Center. The City permit must be finalized within the prescribed timeframe, and a copy of the final permit must be submitted to the Division within two weeks.
4. Prior to the issuance of a Mutual Consent for Manor Alterations, a complete set of unit specific plans prepared by a licensed architect or structural engineer depicting the proposed improvement must be submitted to the Division office located in the Laguna Woods Village Community Center. The plans must depict any required structural modifications ensuring the structural integrity of the building is maintained upon completion of the proposed improvement.
5. Prior to the issuance of a Mutual Consent for Manor Alterations, if required, a Mutual Roof Alteration Notification ("Tie-In Form") must be submitted to the Division. All roof tie-ins must be performed by a C-39 Licensed Contractor. The Member Owner may hire a C-39 Licensed Contractor of his/her own choice to perform roof tie-ins for the installation of solar panels on all roof types except PVC Cool Roofs. For PVC Cool Roofs, regardless of the roof type, all tie-ins must be performed by the Mutual's roofing contractor at the Member Owner's expense. All tie-ins may only be made to sound structural elements. Existing structural elements proposed to be tied to, which exhibit signs of dry rot or other structural defects, must first be replaced or repaired at the Member Owner's expense during construction of the improvement.
6. Prior to the issuance of a Mutual Consent for Manor Alterations, the Member Owner shall request a Landscape Department inspection in order to assure all landscape, irrigation, and drainage modifications associated with the improvements are identified and completed by the Landscape Department at the expense of the Member Owner. All gutter

drainage shall be directed away from structures, free standing walls, foundations, and pedestrian walkways.

7. Prior to the issuance of a Mutual Consent for Manor Alterations, any altered exterior surface should match the Building color; vinyl fence/gate will be either white or taupe, tubular steel or wrought iron fence/gate will be black or white; the approved colors and materials are identified as "Third Laguna Hill Mutual Color Selections" at Resident Services, located at the Community Center first floor.

8. This approval does not change the number of bedrooms or the original maximum occupants permitted in the Manor.

9. Prior to the Issuance of a Mutual Consent for Alterations, acoustical impacts shall be considered and will require noise reducing material such as sound dampening drywall on common walls of the alteration (such as QuietRock® drywall panels or similar approved products).

10. No improvement shall be installed, constructed, modified or altered at Manor 3191-D, ("Property") within the Third Laguna Hills Mutual ("Mutual") unless and until a Mutual Consent for Manor Alterations application for the improvement has been made to, and approved, in writing, by, the Village Management Services, Inc. ("VMS, Inc."), Manor Alterations Division ("Division"), or, in the event of a Variance from the Mutual's Alteration Standards, the Architectural Control and Standards Committee ("ACSC"). In the event written permission is given for the installation, construction, modification or alteration of any improvement(s) upon the Property, the Member Owner or Owners ("Member Owner") agrees to comply with the Mutual's Governing Documents and any specific terms or conditions imposed, and that the installation, construction, modification or alteration shall be in strict compliance with the terms of the approval.

11. Member Owner hereby consents to and grants to the Mutual and the Division, and their representatives, a right of entry upon the Property at any time to be used to inspect the Property and the improvements thereon and for the Mutual and the Division, and their representatives and contractors to remedy any violation upon the Property, including, but not limited to, removing trash, removing any improvement installed without approval or modifying an improvement to bring the same into compliance with the terms of the approval.

12. All costs for maintenance, repair, renovation, replacement or removal of the improvement, present and future, are the responsibility of the Property's Member Owner at 3191-D and all future Mutual members at 3191-D.

13. Member Owner shall be responsible for all activity by contractors, subcontractors, material suppliers and their employees and agents and any others who perform work on the Property, including any violation of the Mutual's Governing Documents, including, but not limited to, traffic and parking violations, maintenance of a clean job site at all times, and use of Mutual property for storage of equipment or materials without prior approval. Member Owner acknowledges and agrees that all such persons are his/her invitees. Member Owner shall be responsible for informing all his/her invitees of the Mutual's Rules and Regulations.

14. Member Owner shall be liable for any violation of the Mutual's Governing Documents by any invitee, including any fine, assessment, traffic or other charge levied in connection therewith.

15. Member is responsible for following the gate clearance process (<http://www.lagunawoodsvillage.com/residents/resident-services> and click on documents and Business Pass Application Instructions) in place to admit contractors and other invites.

16. Member Owner's contractors and other invitees shall have business signage on vehicles and travel to and from the job site by the most direct route available and are not authorized to use Mutual recreational facilities or other amenities while they are in the Village for performance of work in connection with the Property.

17. Parking of contractors or other invitees' vehicles is prohibited in covered resident parking, open resident spaces, handicapped spaces or fire lanes. Contractors or other invitees must park on the street. To the extent possible contractors' or other invitees' vehicles should be limited in number.

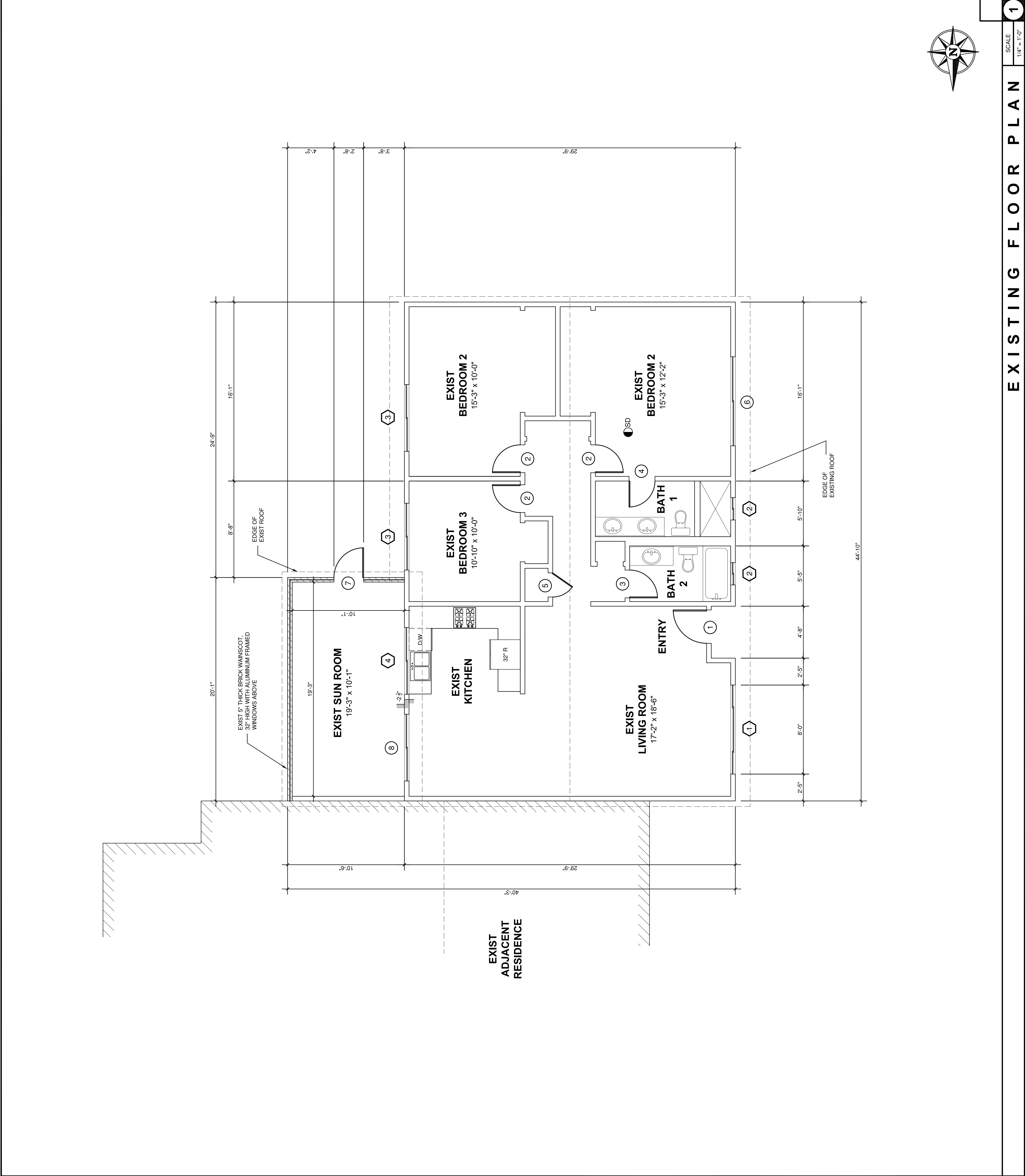
18. Prior to the Issuance of a Mutual Consent for Unit Alterations, the Member shall post a Conformance Deposit in the amount of \$250 for all improvements exceeding a total of \$500. The Conformance Deposit will be held until Final City Building Permit Issuance if required, to assure no damages to Mutual property occurs during construction, including, but not limited to, internet/TV, landscaping, or exterior walls/roof.

19. The Conformance Deposit shall be held by the Mutual and applied, at the Mutual's sole discretion, to any fine levied against the Member Owner or the Property, to cover and/or recoup any costs whatsoever, including, but not be limited to, administrative and legal costs, incurred by the Mutual or VMS, Inc., in connection with the Property, or to any unpaid charges or assessments on the Mutual's account for the Property. For example, the Mutual could apply all or a portion of the Conformance Deposit to cover the following: fines levied against any invitee of Member Owner; fines levied for construction violations; costs incurred by the Mutual in repairing damage to Mutual property caused by Member Owner's contractor or other invitee; costs incurred by the Mutual in curing a violation on the Property; costs incurred in removing or altering an improvement upon the Property; or to an unpaid assessment, special assessment, late charge, interest or collection costs posted to the Mutual's account for the Property. The foregoing list is illustrative only and in no way represents the only situations where the Mutual could apply all or a portion of the Conformance Deposit.

20. If at any time the amount of the Conformance Deposit falls below 3/4ths of the amount originally required to be posted, Member Owner agrees to immediately deposit additional sums with the Mutual in an amount sufficient to return the Conformance Deposit to the originally required level. Until the Conformance Deposit is so replenished, an automatic stop work order shall be in effect.

21. Any remaining Conformance Deposit is refundable if the Member Owner notifies the Division, in writing, that the improvement(s) for which the Conformance Deposit was posted have been completed in accordance with the approval, and the Division agrees with the same. The Mutual will mail the unused portion of the Conformance Deposit, if any, to the Member Owner's address of record with the Mutual. Under no circumstances shall Member Owner be entitled to any interest on any portion of the Conformance Deposit. If no written request for return of a Conformance Deposit is made by Member Owner within two years from the date when the Conformance Deposit is posted with the Mutual, the Conformance Deposit will be deemed forfeited to the Mutual.

22. All improvements must be installed in accordance with the California State Building Code, and the published Mutual Architectural Alterations Standards. See <http://www.lagunawoodsvillage.com>.
23. During construction, work hours established by the Mutual and the Noise Ordinance set forth in the City of Laguna Woods Municipal Code must be adhered to at all times.
24. During construction, both the Mutual Consent for Manor Alterations and the City Building Permit must be on display for public view at all times in a location approved by the Division.
25. It is mandatory that no waste or materials associated with the construction be dumped in the Village trash bins; such waste or materials associated with the construction must be disposed of offsite by the contractor.
26. The Mutual Consent for Manor Alterations expires six months after the date of approval, unless an application is submitted with fees and approved by the Division for an extension. Only one extension for a maximum of an additional six months may be granted.
27. Violations of the forgoing conditions or the Mutual's Governing Documents (See <http://www.lagunawoodsvillage.com>), including, but not limited to, work outside the approved plans, excessive noise, illegal dumping, or working after hours, will result in disciplinary action, which could result in a stop work notice, loss of privileges and/or severe fines to the Owner Member. Such fines left unpaid will result in forfeiture of a portion or all of the Conformance Deposit required above or other legal remedy.
28. Mutual member shall indemnify, defend and hold harmless Third and its officers, directors, committee members and agents from and against any and all claims, demands, costs, fines, judgments, settlements and any other costs, expenses, amounts and liabilities arising from Mutual member's improvements and installation, construction, design and maintenance of same.



CLIENT: **SOUTH COAST RESTORATION**
230 WEST TAFT AVENUE
ORANGE, CA 92665

Revision	
	H.O.A. Submittal 11.20.2017
	H.O.A. Revisions 12.27.2017
	H.O.A. Revisions 02.08.2018
	H.O.A. Revisions 02.12.2018



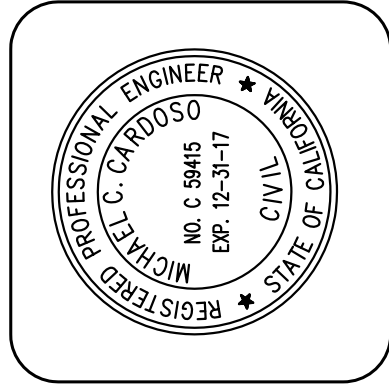
Attachment 1

PROPOSED
RESIDENCE ADDITION

FOR:
RICHARD & HEIDI PENKAVA

3191-D BUENA VISTA
LAGUNA WOODS, CA 92637

Cardoso Consulting, 3181 Saddle Creek Commons Blvd., Suite 200, Newport Beach, CA 92660. This drawing is the property of Cardoso Consulting and is not to be reproduced, copied, or distributed without the written consent of Cardoso Consulting.



EXISTING FLOOR PLAN

JOB NO.:
2017-649
SHEET

A2.0

GENERAL NOTES

- IF ANY ELECTRICAL PLANS ARE PROVIDED, THE SWITCH LOCATIONS ARE ONLY A SUGGESTION. THE CONTRACTOR SHALL PRESENT ALL THE SWITCH LOCATIONS TO THE HOMEOWNER FOR FINAL LOCATION.
- CONTRACTOR TO COORDINATE WITH CLIENT FOR ALL FINAL FLOOR FINISHES, WALL FINISHES, LIGHTING FIXTURES, RESTROOM CABINETS, RESTROOM COUNTERS, SHOWER FIXTURES, SHOWER TILE AND TYPE OF SHOWER GLASS, ETC.
- CONTRACTOR SHALL VERIFY WITH HOMEOWNER ON ALL THE FINAL WINDOW SIZES, STYLE, COLOR AND TYPE. CONTRACTOR SHALL AT ALL TIMES MATCH THE NEW WINDOWS TO THE EXISTING.
- SEE ARCHITECTURAL NOTES FOR ADDITIONAL INFORMATION.
- CONTRACTOR SHALL MATCH THE EXISTING ARCHITECTURAL STYLE OF THE RESIDENCE AND IT SHALL BE REFLECTED IN ALL THE FINISH WORK, ALL WINDOW AND DOOR TRIM, CROWN MOULDING, BASE BOARDS AND ANY EXISTING ARCHES.
- CONTRACTOR TO FIELD VERIFY THAT ALL EXISTING DIMENSIONS ARE IN ACCORDANCE WITH WHAT IS SHOWN ON THE PLANS. IF THERE ARE DISCREPANCIES, THEN THEY SHOULD BE BROUGHT TO THE ATTENTION OF THE ARCHITECT OR ENGINEER IMMEDIATELY.

NEW/EXIST DOOR SCHEDULE

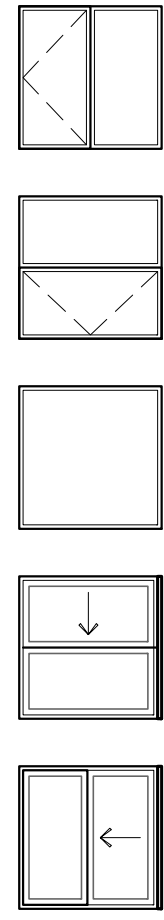
DOOR MARK	DOOR SIZE	TYPE	NOTES	HDR HGT
①	3'-0" x 6'-8"	SC	(E) ENTRANCE DOOR	6'-8"
②	2'-8" x 6'-8"	HC	(E) BEDROOM DOORS	6'-8"
③	2'-6" x 6'-8"	HC	(E) BATHROOM DOOR	6'-8"
④	2'-6" x 6'-8"	HC	(E) BATHROOM DOOR	6'-8"
⑤	2'-4" x 6'-8"	HC	(E) CLOSET DOOR	6'-8"
⑥	8'-0" x 6'-8"	SD	(E) BEDROOM SLIDER	6'-8"
⑦	2'-8" x 6'-8"	AL	(E) REAR ENTRANCE DOOR	6'-8"
⑧	6'-0" x 6'-8"	SD	(E) INTERIOR SLIDER DOOR	6'-8"
○	---	---	-----	---
○	---	---	-----	---

(E) = EXISTING DOOR
SC = HOLLOW CORE DOOR
HC = HOLLOW CORE DOOR
SD = SLIDING DOOR
AL = ALUMINUM DOOR
DD = DOUBLE DOOR

EXIST WINDOW SCHEDULE

WDW MARK	WINDOW SIZE	TYPE	NOTES	HDR HGT
①	8'-0" x 5'-0"	XO	(E) LIVING ROOM WINDOW	6'-8"
②	2'-0" x 1'-0"	XO	(E) BATHROOM WINDOWS	6'-8"
③	6'-0" x 5'-0"	XO	(E) BEDROOM WINDOWS	6'-8"
④	6'-0" x 3'-6"	XO	(E) KITCHEN WINDOW	6'-8"
⑤	---	---	---	---
⑥	---	---	---	---
⑦	---	---	---	---
⑧	---	---	---	---
⑨	---	---	---	---

(E) = EXISTING WINDOW
PW = PICTURE WINDOW
SH = SINGLE HUNG
XO = CASE WINDOW
SD = SLIDING WINDOW
CS = CASEMENT WINDOW



WINDOW NOTES:

- ALL EXTERIOR UNITS TO RECEIVE INSULATED DUAL PANE LOW-E GLAZING.
- ALL GLASS OVER 9 SQ. FT. IN AREA WITHIN 18" OF FLOOR OR GRADE OR SHOWER ENCLOSURES SHALL BE LAMINATED, FULLY TEMPERED OR WIRE GLASS. IN ADDITION, FIXED AND SLIDING PANELS OF SLIDING DOOR ENCLOSURES AND SLIDING GLASS DOORS OTHER THAN WARDROBE DOORS SHALL BE OF SAFETY GLAZING MATERIAL.
- ALL GLAZING WITHIN 1'-24" ARC OF EITHER VERTICAL EDGE OF A DOOR AND WITHIN 60" OF THE FLOOR SHALL BE TEMPERED.
- ALL GLAZING ADJACENT TO BATHTUBS AND WITHIN 5 FEET FROM TUB FLOOR SHALL BE TEMPERED GLASS
- ALL GLAZING SHALL COMPLY WITH STANDARDS OF THE U.S. CONSUMER PRODUCT SAFETY COMMISSION. MANUFACTURER TO SUPPLY CERTIFICATE OF COMPLIANCE TO OWNER.
- SPECIFY ALL SAFETY GLAZING IN LOCATIONS SPECIFIED PER THE LATEST APPLICABLE CODE. GLASS TO BE ETCHED MARKED.
- ALL NEW WINDOWS MUST MEET THE MINIMUM "U" VALUE FOR CLIMATE ZONE 16 WHICH IS 0.40. THIS WILL BE VERIFIED BY THE INSPECTOR ON SITE.

LEGEND

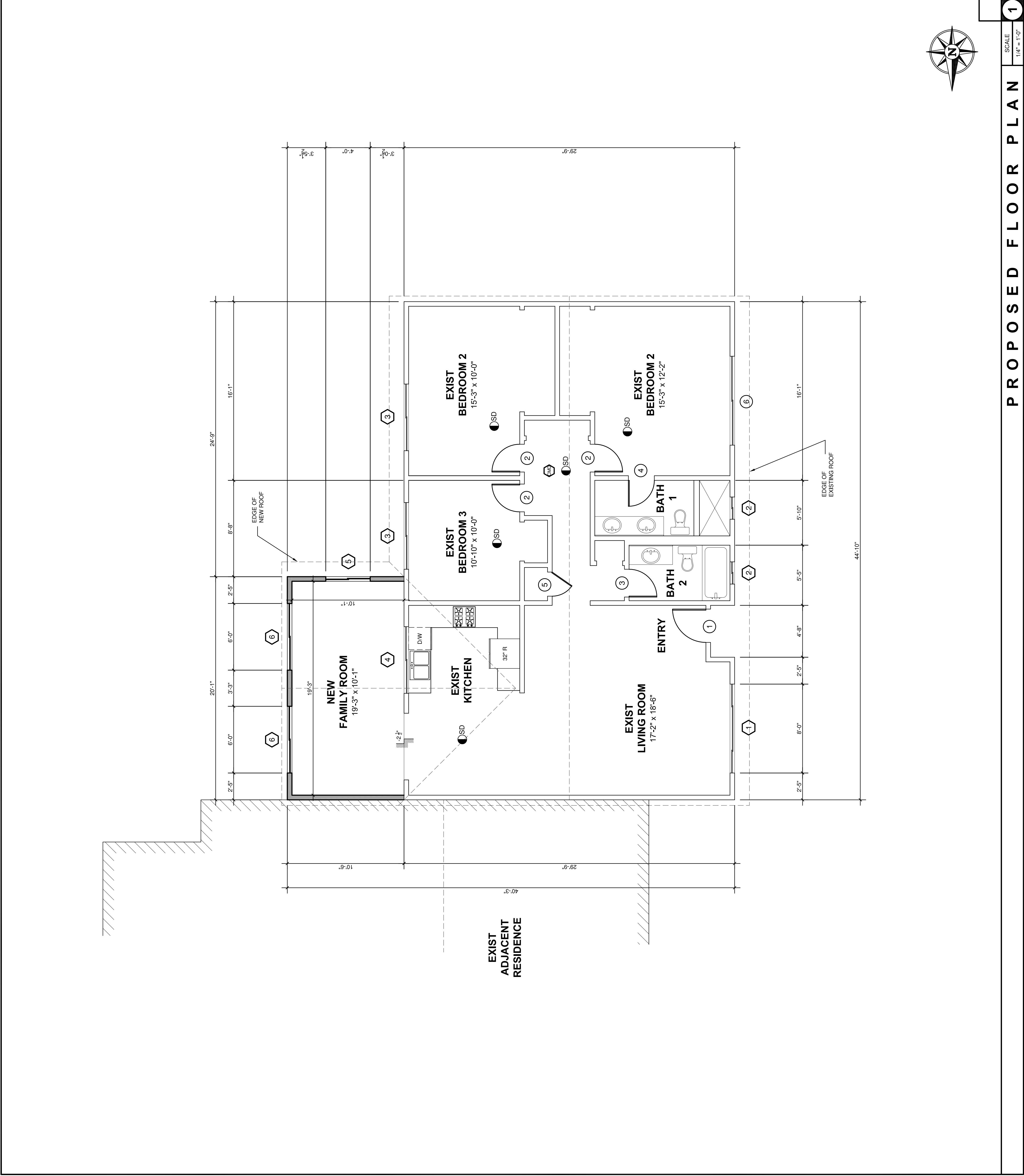
EXISTING 2 x 4 STUD WALL (2 x 4 PROBABLE) @ 16" o/c WITH 1/2" THICK GYP BOARD EACH SIDE AND R-13 BATT. INSULATION - PAINT AND TEXTURE FINISH AS REQUIRED PER OWNER.



EXISTING FLOOR PLAN

SCALE
1/4" = 1'-0"

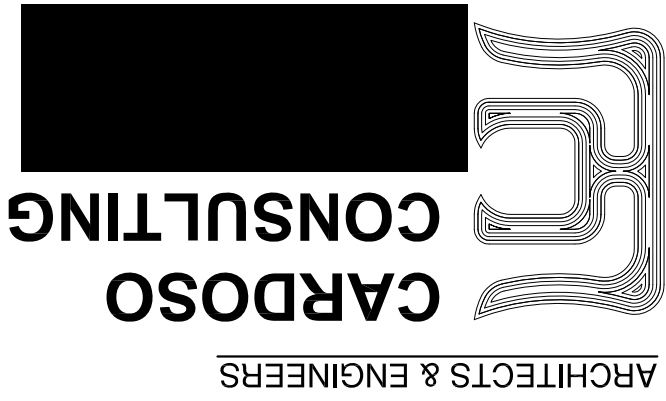
1



CLIENT: SOUTH COAST RESTORATION



Revision			
	H.O.A. Submittal	11.20.2017	
	H.O.A. Revisions	12.27.2017	
	H.O.A. Revisions	02.08.2018	
	H.O.A. Revisions	02.12.2018	

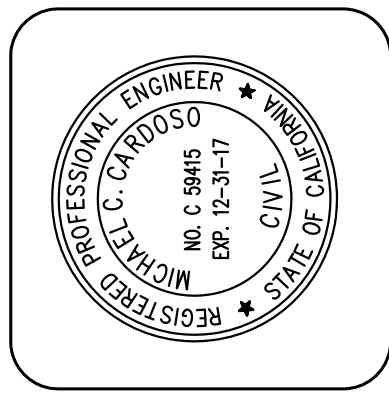


PROPOSED
RESIDENCE
ADDITION

FOR:
RICHARD & HEIDI
PENKAVA

3191-D BUENA VISTA
LAGUNA WOODS, CA 92637

Cardoso Consulting, 3181 Saddle Hill Commons Lane
Laguna Hills, CA 92653
Copyright for this document including represented
designs and specifications.



PROPOSED
FLOOR PLAN

JOB NO.:
2017-649
SHEET

A2.1

GENERAL NOTES

- IF ANY ELECTRICAL PLANS PROVIDED, THE SWITCH LOCATIONS ARE ONLY A SUGGESTION. THE CONTRACTOR SHALL PRESENT ALL THE SWITCH LOCATIONS TO THE HOMEOWNER FOR FINAL LOCATION.
- CONTRACTOR TO COORDINATE WITH CLIENT FOR ALL FINAL FLOOR FINISHES, WALL FINISHES, LIGHTING FIXTURES, RESTROOM CABINETS, RESTROOM COUNTERS, SHOWER FIXTURES, SHOWER TILE AND TYPE OF SHOWER GLASS, ETC.
- CONTRACTOR SHALL VERIFY WITH HOMEOWNER ON ALL THE FINAL WINDOW SIZES, STYLE, COLOR AND TYPE. CONTRACTOR SHALL AT ALL TIMES MATCH THE NEW WINDOWS TO THE EXISTING.
- SEE ARCHITECTURAL NOTES FOR ADDITIONAL INFORMATION.
- CONTRACTOR SHALL MATCH THE EXISTING ARCHITECTURAL STYLE OF THE RESIDENCE AND IT SHALL BE REFLECTED IN ALL THE FINISH WORK, ALL WINDOW AND DOOR TRIM, CROWN MOULDING, BASE BOARDS AND ANY EXISTING ARCHES.
- CONTRACTOR TO FIELD VERIFY THAT ALL EXISTING DIMENSIONS ARE IN ACCORDANCE WITH WHAT IS SHOWN ON THE PLANS. IF THERE ARE DISCREPANCIES, THEN THEY SHOULD BE BROUGHT TO THE ATTENTION OF THE ARCHITECT OR ENGINEER IMMEDIATELY.

NEW/EXIST DOOR SCHEDULE

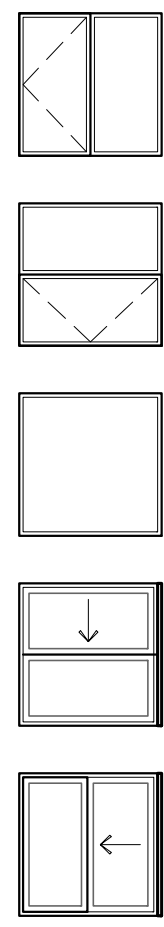
DOOR MARK	DOOR SIZE	TYPE	NOTES	HDR HGT
①	3'-0" x 6'-8"	SC	(E) ENTRANCE DOOR	6'-8"
②	2'-8" x 6'-8"	HC	(E) BEDROOM DOORS	6'-8"
③	2'-6" x 6'-8"	HC	(E) BATHROOM DOOR	6'-8"
④	2'-6" x 6'-8"	HC	(E) BATHROOM DOOR	6'-8"
⑤	2'-4" x 6'-8"	HC	(E) CLOSET DOOR	6'-8"
⑥	8'-0" x 6'-8"	SD	(E) BEDROOM SLIDER	6'-8"
○	---	---	----	---
○	---	---	----	---
○	---	---	----	---
○	---	---	----	---

(E) = EXISTING DOOR
HC = HOLLOW CORE DOOR
SC = SLIDING CLIP DOOR
SD = SLIDING DOOR
DD = DOUBLE DOOR

NEW/EXIST WINDOW SCHEDULE

WDW MARK	WINDOW SIZE	TYPE	NOTES	HDR HGT
①	8'-0" x 5'-0"	XO	(E) LIVING ROOM WINDOW	6'-8"
②	2'-0" x 1'-0"	XO	(E) BATHROOM WINDOWS	6'-8"
③	6'-0" x 5'-0"	XO	(E) BEDROOM WINDOWS	6'-8"
④	6'-0" x 3'-6"	XO	(E) KITCHEN WINDOW	6'-8"
⑤	4'-0" x 3'-0"	XO	NEW DEN WINDOW	6'-8"
⑥	6'-0" x 3'-0"	XO	NEW DEN WINDOW	6'-8"
○	---	--	---	---
○	---	--	---	---
○	---	--	---	---

(E) = EXISTING WINDOW
PW = PICTURE WINDOW
SH = SHOWER GLASS
XO = EXTERIOR WINDOW
FD = FRENCH DOOR
AW = AWNING WINDOW
CS = CASEMENT WINDOW
SH = SINGLE HUNG



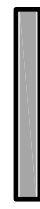
WINDOW NOTES:

- ALL EXTERIOR UNITS TO RECEIVE INSULATED DUAL PANE LOW-E GLAZING.
- ALL GLASS OVER 9 SQ. FT. IN AREA WITHIN 18" OF FLOOR OR GRADE OR SHOWER ENCLOSURES SHALL BE LAMINATED, FULLY TEMPERED OR WIRE GLASS. IN ADDITION, FIXED AND SLIDING PANELS OF SLIDING DOOR ASSEMBLIES AND SHOWER GLASS SHALL BE SAFETY GLAZING MATERIAL. DOORS SHALL BE OF SAFETY GLAZING MATERIAL.
- ALL GLAZING WITHIN 1'-24" ARC OF EITHER VERTICAL EDGE OF A DOOR AND WITHIN 60" OF THE FLOOR SHALL BE TEMPERED.
- ALL GLAZING ADJACENT TO BATHTUBS AND WITHIN 5 FEET FROM TUB FLOOR SHALL BE TEMPERED GLASS
- ALL GLAZING SHALL COMPLY WITH STANDARDS OF THE U.S. CONSUMER PRODUCT SAFETY COMMISSION. MANUFACTURER TO SUPPLY CERTIFICATE OF COMPLIANCE TO OWNER.
- SPECIFY ALL SAFETY GLAZING IN LOCATIONS SPECIFIED PER THE LATEST APPLICABLE CODE. GLASS TO BE ETCHED MARKED.
- ALL NEW WINDOWS MUST MEET THE MINIMUM "U" VALUE FOR CLIMATE ZONE 16 WHICH IS 0.40. THIS WILL BE VERIFIED BY THE INSPECTOR ON SITE.

LEGEND



EXISTING 2 x 4 STUD WALL (2 x 4 PROBABLE) @ 16" o/c WITH 1/2" THICK GYP BOARD EACH SIDE AND R-13 BATT. INSULATION - PAINT AND TEXTURE FINISH AS REQUIRED PER OWNER.



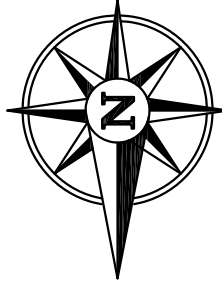
NEW 2 x 4 STUD WALL @ 16" o/c WITH 1/2" THICK GYP BOARD EACH SIDE AND R-13 BATT. INSULATION - PAINT AND TEXTURE FINISH PER OWNER.



CARBON MONOXIDE ALARM (UL 2034 / 2075 RATED), SEE ALSO NOTES ON SHEET A1.1



SMOKE ALARM (UL 217 RATED), SEE ALSO NOTES ON SHEET A1.1

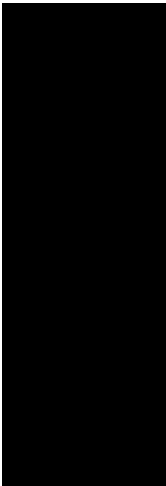


PROPOSED FLOOR PLAN

SCALE

1/4" = 1'-0"

1



Revision		
<div>▲</div>	H.O.A. Submittal	11.20.2017
<div>▲</div>	H.O.A. Revisions	12.27.2017
<div>▲</div>	H.O.A. Revisions	02.08.2018
<div>▲</div>	H.O.A. Revisions	02.12.2018

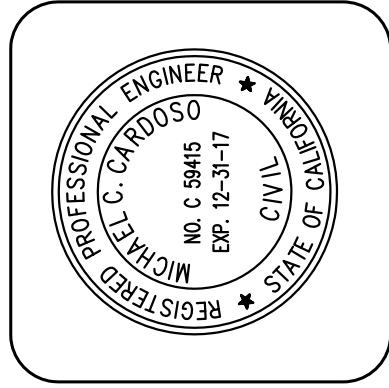


PROPOSED
RESIDENCE
ADDITION

FOR:
RICHARD & HEIDI
PENKAVA

3191-D BUENA VISTA
LAGUNA WOODS, CA 92637

Cardoso Consulting is not liable for any errors or omissions in this document including representation, design and performance.



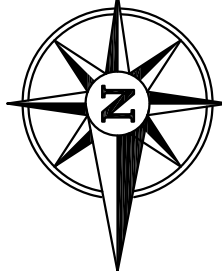
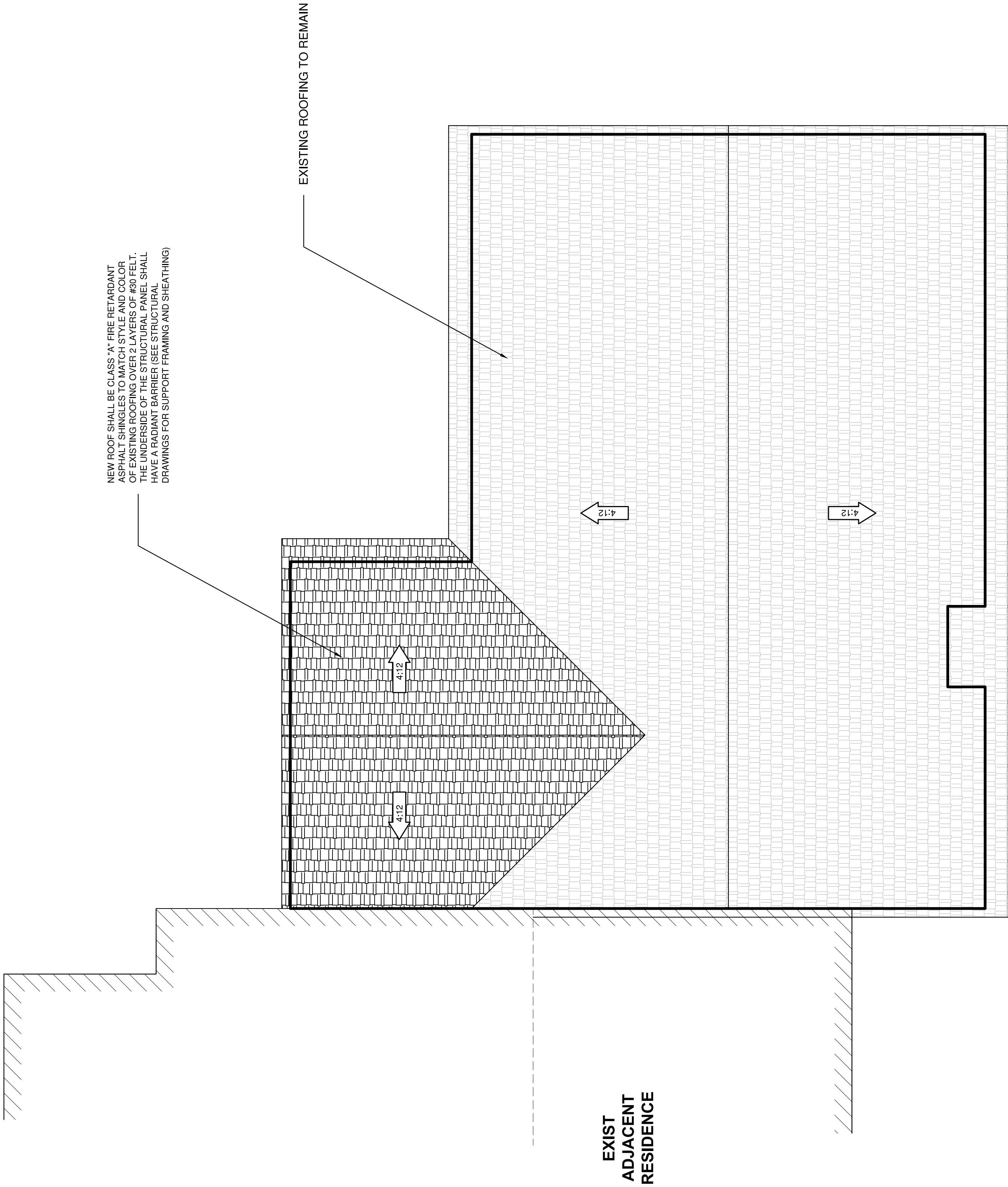
EXISTING
ROOF PLAN

JOB NO.:
2017-649
SHEET

A2.2

GENERAL NOTES

- IF AN ELECTRICAL PLAN IS PROVIDED, THE SWITCH LOCATIONS ARE ONLY A SUGGESTION. THE CONTRACTOR SHALL PRESENT ALL THE SWITCH LOCATIONS TO THE HOMEOWNER FOR FINAL LOCATION.
- CONTRACTOR TO COORDINATE WITH CLIENT FOR ALL FINAL FLOOR FINISHES, WALL FINISHES, LIGHTING FIXTURES, RESTROOM CABINETS, RESTROOM COUNTERS, SHOWER FIXTURES, SHOWER TILE AND TYPE OF SHOWER GLASS, ETC.
- CONTRACTOR SHALL VERIFY WITH HOMEOWNER ON ALL THE FINAL WINDOW SIZES, STYLE, COLOR AND TYPE. CONTRACTOR SHALL AT ALL TIMES MATCH THE NEW WINDOWS TO THE EXISTING.
- SEE ARCHITECTURAL NOTES FOR ADDITIONAL INFORMATION.
- CONTRACTOR SHALL MATCH THE EXISTING ARCHITECTURAL STYLE OF THE RESIDENCE AND IT SHALL BE REFLECTED IN ALL THE FINISH WORK, ALL WINDOW AND DOOR TRIM, CROWN MOLDING, BASE BOARDS AND ANY EXISTING ARCHES.
- CONTRACTOR TO FIELD VERIFY THAT ALL EXISTING DIMENSIONS ARE IN ACCORDANCE WITH WHAT IS SHOWN ON THE PLANS. IF THERE ARE DISCREPANCIES, THEN THEY SHOULD BE BROUGHT TO THE ATTENTION OF THE ARCHITECT OR ENGINEER IMMEDIATELY.



PROPOSED ROOF PLAN

SCALE
1/4" = 1'-0"

1

Revision		
<div>▲</div>	H.O.A. Submittal	11.20.2017
<div>▲</div>	H.O.A. Revisions	12.27.2017
<div>▲</div>	H.O.A. Revisions	02.08.2018
<div>▲</div>	H.O.A. Revisions	02.12.2018

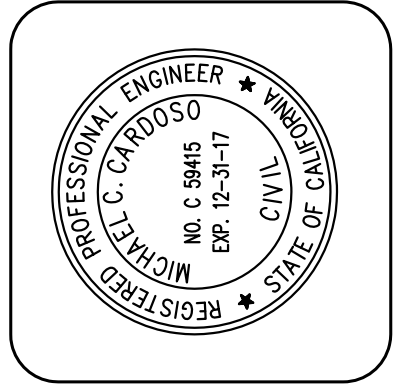


PROPOSED
RESIDENCE
ADDITION

FOR:
RICHARD & HEIDI
PENKAVA

3191-D BUENA VISTA
LAGUNA WOODS, CA 92637

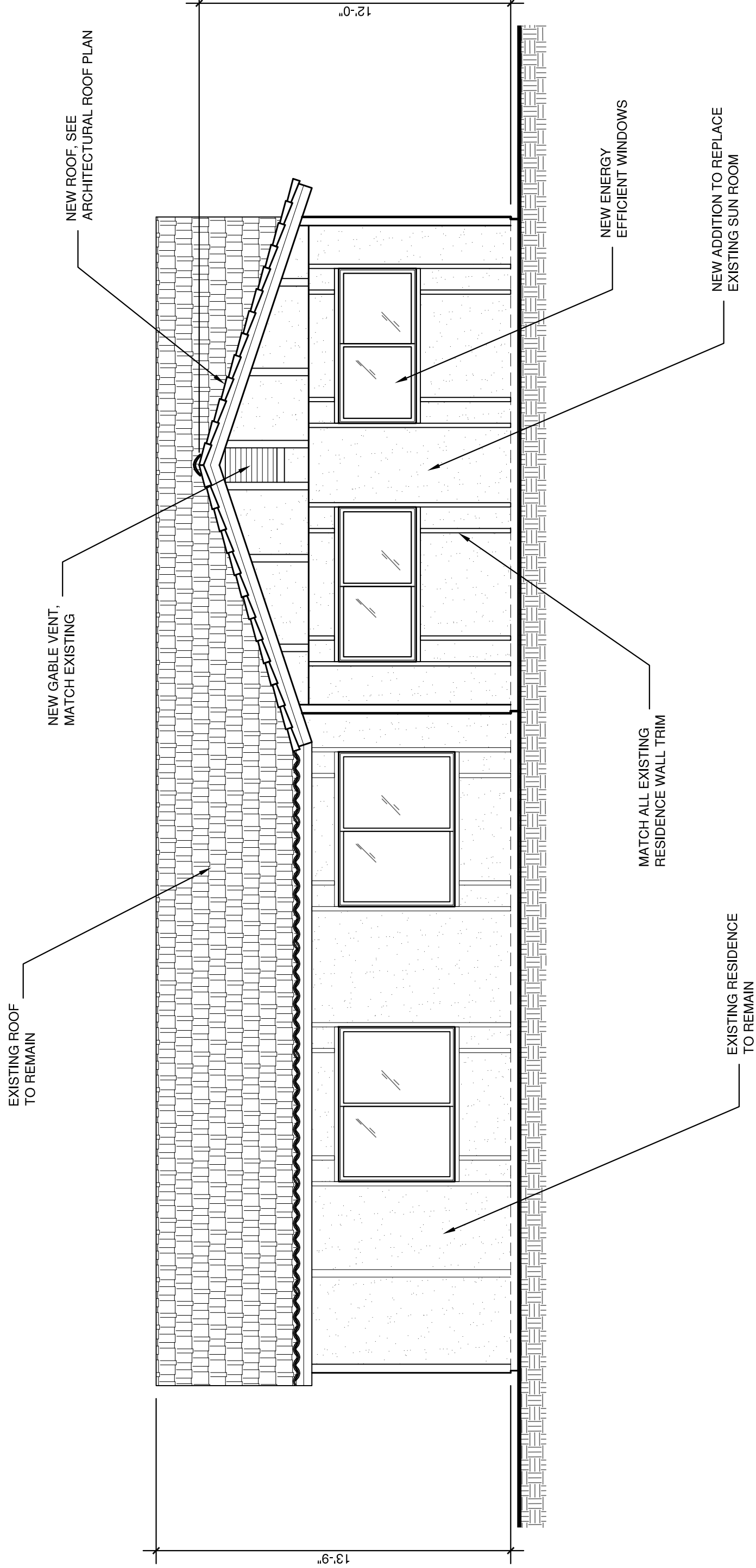
Cardoso Consulting is the sole author of this document. All copyright for this document including reproduction, distribution and specification.



PROPOSED
ELEVATIONS

JOB NO.:
2017-649
SHEET

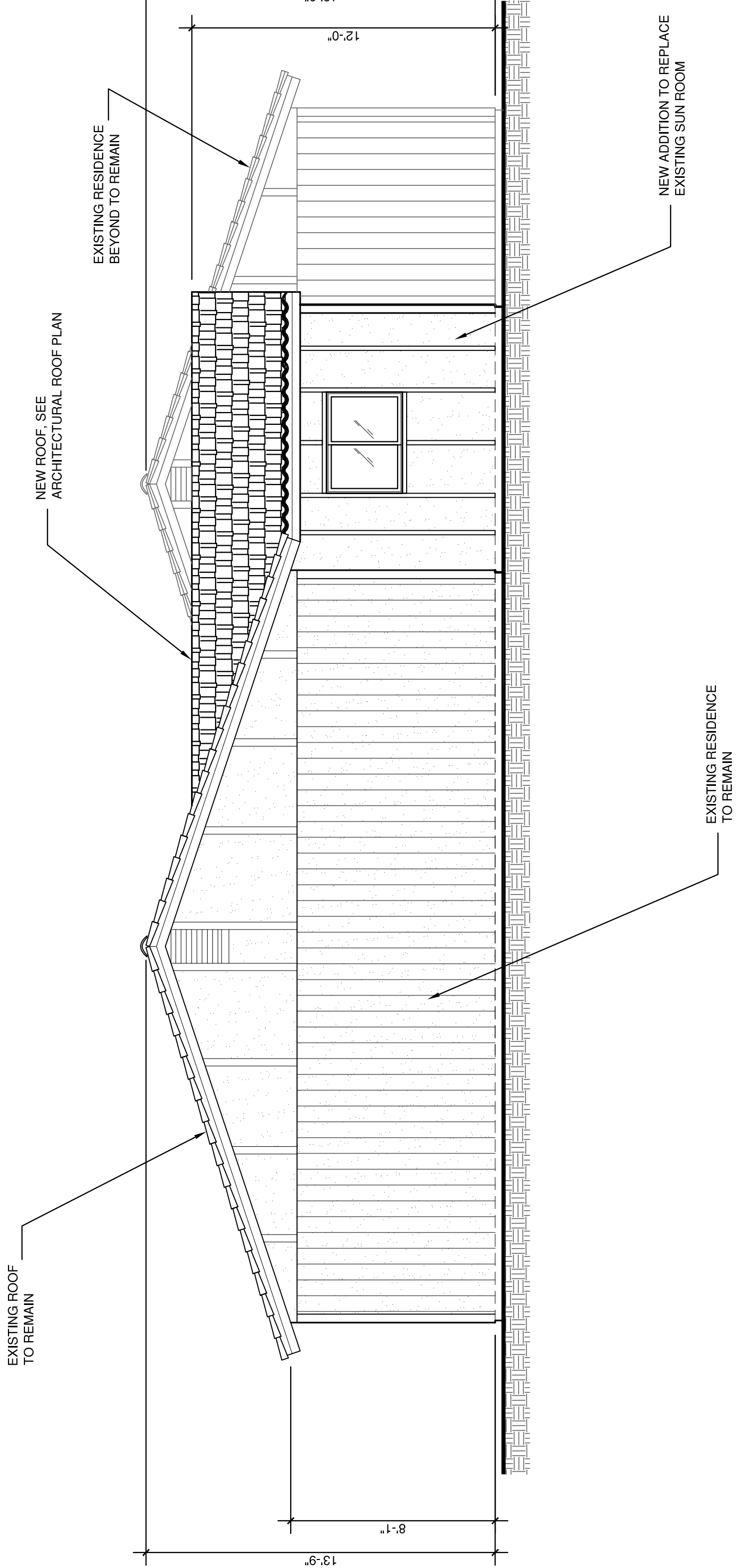
A4.2



PROPOSED EAST ELEVATION

1

SCALE
1/4" = 1'-0"



PROPOSED SOUTH ELEVATION

2

SCALE
1/4" = 1'-0"

3

SCALE
1/4" = 1'-0"

4

SCALE
1/4" = 1'-0"

MANOR # 3191-D☐ ULWM☒ TLHM

Variance Request Form

SA 21214137

Model: <u>LA REINA</u>	Plan: <u>43</u>	Date: <u>12.8.17</u>
Member Name: <u>HEIDI & RICHARD PENKAVA</u>	Signature: <u>[Signature]</u>	
Phone: <u>[Redacted]</u>	Email: <u>[Redacted]</u>	
Contractor Name/Co: <u>SOUTH COAST RESTORATION</u>	Phone: <u>[Redacted]</u>	Email: <u>[Redacted]</u>

Description of Proposed Variance Request ONLY:

ROOM ADDITION @ EXISTING PERMITTED
SUN ROOM

Dimensions of Proposed Variance Alterations ONLY:

10'6" X 19'
199.5 sq ft

FOR OFFICE USE ONLY

RECEIVED BY: [Signature] DATE RECEIVED: 01/03/18 Check# MR107956494789 BY: Michael Cardoso

Alteration Variance Request

Check Items Received:

- ☒ Drawing of Existing Floor Plan
☒ Drawing of Proposed Variance
☒ Dimensions of Proposed Variance
☐ Before and After Pictures
☐ Other: _____

Complete Submittal Cut Off Date: 1/25/18

Meetings Scheduled:

Third AC&S Committee (TACSC): 2/20/18

United M&C Committee: _____

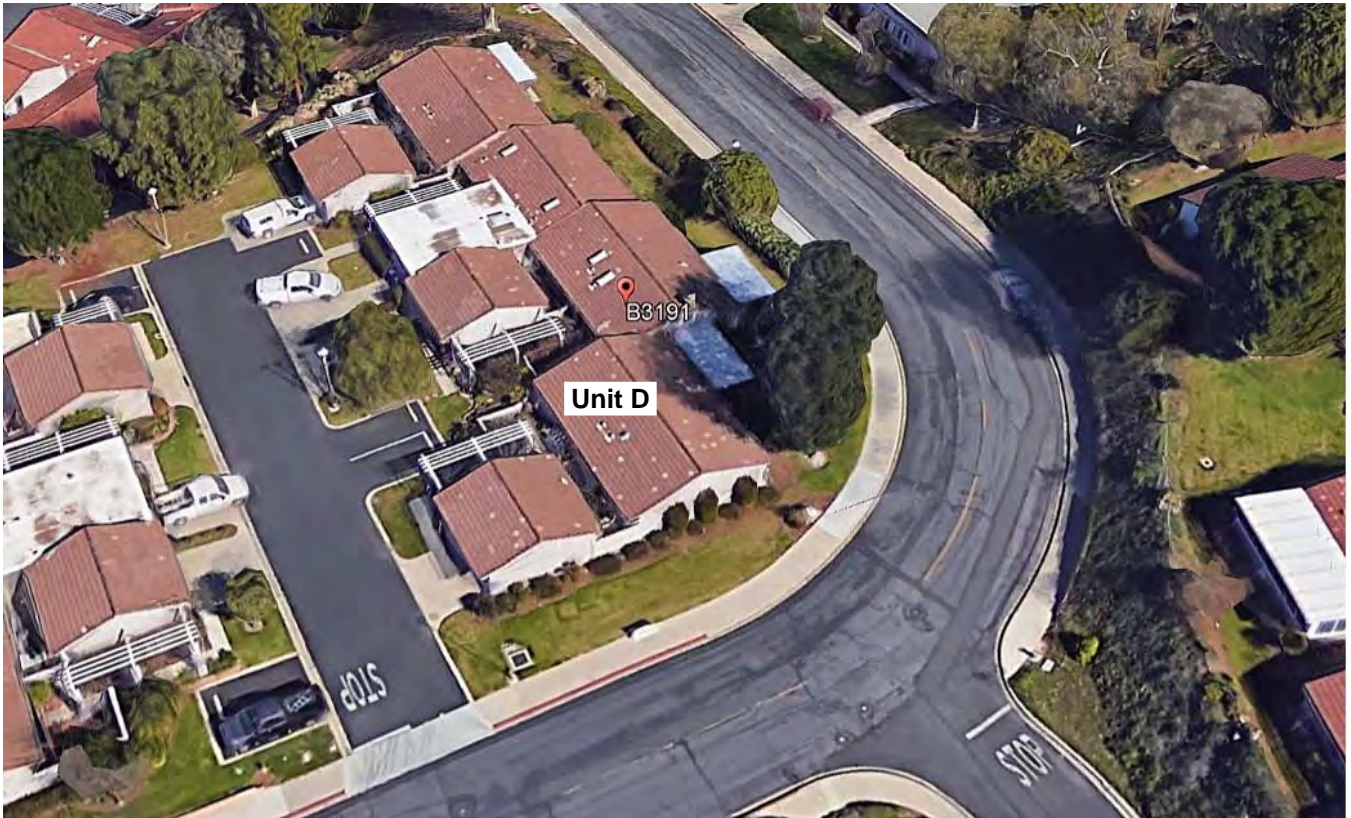
Board Meeting: 3/20/18☐ Denied☐ Approved☐ Tabled☐ Other _____

Attachment 3:





Attachment: 4





STAFF REPORT

DATE: February 26, 2018
FOR: Architectural Control and Standards Committee
SUBJECT: Variance Request
Mr. Chien Wang of 3238-B (La Reina, SM903B)
Room Addition on Front Patio

RECOMMENDATION

Staff recommends the Board approve the request for a room addition with a new bathroom on front patio with the conditions as stated in Appendix A.

BACKGROUND

Mr. Wang of 3238-B San Amadeo, a La Reina style manor, is requesting Board approval of a variance to construct a room addition on the same footprint as the existing covered front patio (Attachment 1).

The front patio shown on the condominium plan is designated as Exclusive Use Common Area.

There is an Architectural Standard plan (Plan #300) for a room addition on the front patio of this style of unit; however the plan does not include a bathroom within the room addition which, per the Decision Tree, requires a Variance.

The cost of the proposed alteration would be borne by the Member.

DISCUSSION

Mr. Wang proposes to enclose an area measuring 15 feet, 10 inches wide by 10 feet, 2 inches long on the front patio using wood frame and stucco to match the existing building exterior in order to add a bedroom extension to bedroom one with an en suite bathroom.

As part of a unit remodel that involves demolishing the existing en suite bathroom to Bedroom One and moving the bedroom into that area, Mr. Wang proposes to utilize the room addition to extend the relocated Bedroom One and provide an en suite bathroom that shares a common wall with Unit C.

The new bedroom extension would have both a sliding glass door which would measure 5 feet wide by 6 feet, 8 inches tall and a single hung, 2 feet, 6 inches wide by 4 feet tall window on the left elevation.

A new 3 feet wide by 4 feet tall window will be installed on the relocated bedroom wall to provide for egress requirements.

The roof plans show a new built-up flat roof will be installed with a 3/8:12 pitch for drainage.

Plumbing plans have been provided showing the new bathroom areas will tie into a new 3 inch sewer line before tying into the existing line. A City permit will verify building codes are met.

Acoustic considerations have been made by installing a STC 50 rated wall where the new bathroom abuts the neighboring unit.

The proposed roof would consist of a new built-up flat roof (3/8:12 pitch) and would be constructed to match the existing roof in materials and appearance.

A City permit that would ensure Title 24 is met will be required for Mutual approval.

Staff determined there would be no impairment of the structural integrity or mechanical systems of the surrounding buildings or lessening of its support.

A City of Laguna Woods building permit final would verify compliance with all applicable building codes to include light, ventilation, and egress.

Due to the La Reina floor plans having an Architectural Standard for a room addition on the front patio, there were no previous Variances on file for a similar alteration.

A Neighbor Awareness Notice was sent to units 3238-A and 3238-C on January 30, 2018 due to sharing common walls or being potentially affected during construction.

At the time of preparing this report, there are no open Mutual Consents for Manor 3238-B.

All future costs and maintenance associated with the subject alterations are the responsibility of the Mutual member(s) at 3238-B.

Prepared By: Gavin Fogg, Alterations Inspector II

Reviewed By: Kurt Wiemann, Permits, Inspections & Restoration Manager

ATTACHMENT(S)

Appendix A: Conditions of Approval
Attachment 1: Site Plan
Attachment 2: Variance Request
Attachment 3: Photos
Attachment 3: Map

APPENDIX A

CONDITIONS OF APPROVAL

Conditions of approval would be as follows:

1. No improvement shall be installed, constructed, modified or altered at Manor **3238-B**, ("Property") within the Third Laguna Hills Mutual ("Mutual") unless and until a Mutual Consent for Manor Alterations application for the improvement has been made to, and approved, in writing, by, the Village Management Services, Inc. ("VMS, Inc."), Manor Alterations Division ("Division"), or, in the event of a Variance from the Mutual's Alteration Standards, the Architectural Control and Standards Committee ("ACSC"). In the event written permission is given for the installation, construction, modification or alteration of any improvement(s) upon the Property, the Member Owner or Owners ("Member Owner") agrees to comply with the Mutual's Governing Documents and any specific terms or conditions imposed, and that the installation, construction, modification or alteration shall be in strict compliance with the terms of the approval.
2. A Mutual Consent for Manor Alterations has been granted at **3238-B** for **Room Addition on Front Patio**, subject to the attached plans stamped approved and is subject to the final inspection by the Division. Any variations to the approved attached plans are not allowed and could result in a stop work notice and/or severe fines to the Member.
3. Member Owner hereby consents to and grants to the Mutual and the Division, and their representatives, a right of entry upon the Property at any time to be used to inspect the Property and the improvements thereon and for the Mutual and the Division, and their representatives and contractors to remedy any violation upon the Property, including, but not limited to, removing trash, removing any improvement installed without approval or modifying an improvement to bring the same into compliance with the terms of the approval.
4. All costs for maintenance, repair, renovation, replacement or removal of the improvement, present and future, are the responsibility of the Property's Member Owner at 3238-B and all future Mutual members at 3238-B.
5. Member Owner shall be responsible for all activity by contractors, subcontractors, material suppliers and their employees and agents and any others who perform work on the Property, including any violation of the Mutual's Governing Documents, including, but not limited to, traffic and parking violations, maintenance of a clean job site at all times, and use of Mutual property for storage of equipment or materials without prior approval. Member Owner acknowledges and agrees that all such persons are his/her invitees. Member Owner shall be responsible for informing all his/her invitees of the Mutual's Rules and Regulations.
6. Member Owner shall be liable for any violation of the Mutual's Governing Documents by any invitee, including any fine, assessment, traffic or other charge levied in connection therewith.
7. Member is responsible for following the gate clearance process (<http://www.lagunawoodsvillage.com/residents/resident-services> and click on documents and Business Pass Application Instructions) in place to admit contractors and other invites.
8. Member Owner's contractors and other invitees shall have business signage on

vehicles and travel to and from the job site by the most direct route available and are not authorized to use Mutual recreational facilities or other amenities while they are in the Village for performance of work in connection with the Property.

9. Parking of contractors or other invitees' vehicles is prohibited in covered resident parking, open resident spaces, handicapped spaces or fire lanes. Contractors or other invitees must park on the street. To the extent possible contractors' or other invitees' vehicles should be limited in number.

10. Member Owner(s) of the Property must sign and submit to the Mutual, c/o VMS, Inc., at the Division office located in the Laguna Woods Village Community Center, an executed and notarized "Recordable Common Area Agreement" for a proposed improvement that would utilize any portion of the Mutual's Common Area. Prior to the issuance of a Mutual Consent for Manor Alterations, that "Recordable Common Area Agreement" must be filed with the Orange County Clerk/Recorder.

11. A City of Laguna Woods permit is required, which may include the requirement to obtain clearance from the South Coast Air Quality Management District (Asbestos Hot Line at (909) 396-2336). Prior to the issuance of a Mutual Consent for Manor Alterations, the appropriate City of Laguna Woods permit number(s) must be submitted to the Division office located in the Laguna Woods Village Community Center. The City permit must be finalized within the prescribed timeframe, and a copy of the final permit must be submitted to the Division within two weeks.

12. Prior to the issuance of a Mutual Consent for Manor Alterations, a complete set of unit specific plans prepared by a licensed architect or structural engineer depicting the proposed improvement must be submitted to the Division office located in the Laguna Woods Village Community Center. The plans must depict any required structural modifications ensuring the structural integrity of the building is maintained upon completion of the proposed improvement.

13. Prior to the Issuance of a Mutual Consent for Manor Alterations, **the Member Owner must have conducted an inspection of the waste lines, by a VMS Plumber, to assure no repairs are needed.** The inspection will be a chargeable service to the Member Owner. Inspection appointments are to be made with Resident Services, by authorized persons only. Findings from the video inspection will be recorded on the chargeable service ticket for Manor Alterations staff to review.

14. Prior to the issuance of a Mutual Consent for Manor Alterations, if required, a Mutual Roof Alteration Notification ("Tie-In Form") must be submitted to the Division. All roof tie-ins must be performed by a C-39 Licensed Contractor. The Member Owner may hire a C-39 Licensed Contractor of his/her own choice to perform roof tie-ins for the installation of solar panels on all roof types except PVC Cool Roofs. For PVC Cool Roofs, regardless of the roof type, all tie-ins must be performed by the Mutual's roofing contractor at the Member Owner's expense. All tie-ins may only be made to sound structural elements. Existing structural elements proposed to be tied to, which exhibit signs of dry rot or other structural defects, must first be replaced or repaired at the Member Owner's expense during construction of the improvement.

15. Prior to the issuance of a Mutual Consent for Manor Alterations, the Member Owner shall request a Broadband infrastructure inspection to assure that Mutual property is appropriately identified in order to be addressed during construction.

16. Prior to the issuance of a Mutual Consent for Manor Alterations, any altered exterior surface should match the Building color; vinyl fence/gate will be either white or taupe, tubular steel or wrought iron fence/gate will be black or white; the approved colors and materials are identified as "Third Laguna Hill Mutual Color Selections" at Resident Services, located at the Community Center first floor.

17. Prior to the Issuance of a Mutual Consent for Unit Alterations, the Member shall post a Conformance Deposit in the amount of \$250 for all improvements exceeding a total of \$500. The Conformance Deposit will be held until Final City Building Permit Issuance if required, to assure no damages to Mutual property occurs during construction, including, but not limited to, internet/TV, landscaping, or exterior walls/roof.

18. The Conformance Deposit shall be held by the Mutual and applied, at the Mutual's sole discretion, to any fine levied against the Member Owner or the Property, to cover and/or recoup any costs whatsoever, including, but not be limited to, administrative and legal costs, incurred by the Mutual or VMS, Inc., in connection with the Property, or to any unpaid charges or assessments on the Mutual's account for the Property. For example, the Mutual could apply all or a portion of the Conformance Deposit to cover the following: fines levied against any invitee of Member Owner; fines levied for construction violations; costs incurred by the Mutual in repairing damage to Mutual property caused by Member Owner's contractor or other invitee; costs incurred by the Mutual in curing a violation on the Property; costs incurred in removing or altering an improvement upon the Property; or to an unpaid assessment, special assessment, late charge, interest or collection costs posted to the Mutual's account for the Property. The foregoing list is illustrative only and in no way represents the only situations where the Mutual could apply all or a portion of the Conformance Deposit.

19. If at any time the amount of the Conformance Deposit falls below 3/4ths of the amount originally required to be posted, Member Owner agrees to immediately deposit additional sums with the Mutual in an amount sufficient to return the Conformance Deposit to the originally required level. Until the Conformance Deposit is so replenished, an automatic stop work order shall be in effect.

20. Any remaining Conformance Deposit is refundable if the Member Owner notifies the Division, in writing, that the improvement(s) for which the Conformance Deposit was posted have been completed in accordance with the approval, and the Division agrees with the same. The Mutual will mail the unused portion of the Conformance Deposit, if any, to the Member Owner's address of record with the Mutual. Under no circumstances shall Member Owner be entitled to any interest on any portion of the Conformance Deposit. If no written request for return of a Conformance Deposit is made by Member Owner within two years from the date when the Conformance Deposit is posted with the Mutual, the Conformance Deposit will be deemed forfeited to the Mutual.

21. All improvements must be installed in accordance with the California State Building Code, and the published Mutual Architectural Alterations Standards. See <http://www.lagunawoodsvillage.com>.

22. This approval does not change the number of bedrooms or the original maximum occupants permitted in the Manor.

23. During construction, work hours established by the Mutual and the Noise Ordinance set forth in the City of Laguna Woods Municipal Code must be adhered to at all times.

24. During construction, both the Mutual Consent for Manor Alterations and the City Building Permit must be on display for public view at all times in a location approved by the Division.

25. It is mandatory that no waste or materials associated with the construction be dumped in the Village trash bins; such waste or materials associated with the construction must be disposed of offsite by the contractor.

26. The Mutual Consent for Manor Alterations expires six months after the date of approval, unless an application is submitted with fees and approved by the Division for an extension. Only one extension for a maximum of an additional six months may be granted.

27. Violations of the forgoing conditions or the Mutual's Governing Documents (See <http://www.lagunawoodsvillage.com>), including, but not limited to, work outside the approved plans, excessive noise, illegal dumping, or working after hours, will result in disciplinary action, which could result in a stop work notice, loss of privileges and/or severe fines to the Owner Member. Such fines left unpaid will result in forfeiture of a portion or all of the Conformance Deposit required above or other legal remedy.

28. Mutual member shall indemnify, defend and hold harmless Third and its officers, directors, committee members and agents from and against any and all claims, demands, costs, fines, judgments, settlements and any other costs, expenses, amounts and liabilities arising from Mutual member's improvements and installation, construction, design and maintenance of same.

GENERAL NOTES:

1. PROJECT SHALL COMPLY WITH THE 2016 CBC, CMC, CPC, CEC, CAL ENERGY CODE, CBC AND LOCAL ORDINANCES.
2. OCCUPANCY R-3 SINGLE FAMILY V TYPE U GARAGE, ALTERATION CONSTRUCTION TYPE VB
3. THE PROJECT SHALL FOLLOW THE FOLLOW BEST MANAGEMENT PRACTICES. POLLUTANTS= THE DISCHARGE OF POLLUTANTS TO ANY STORM DRAINAGE SYSTEM IS PROHIBITED. NO SOLID WASTE, PETROLEUM OILS, GREASE, PAINTS, SOLVENTS, OR OTHER HAZARDOUS MATERIALS OR WASTE WATER GENERATED ON CONSTRUCTION SITES OR BY ANY OTHER SOURCE SHALL BE PLACED, CONVEYED OR DISCHARGED INTO ANY WATER BODY OR WATER TREATMENT SYSTEM. SUCH BEARING WATER, NOOD LOTS
4. LAUNDRY, DOUGLAS FIR LARCH, 4X, 4X, FB-80X, LE-LIXTID TO 6TH FLOOR, UNLESS NOTED OTHERWISE ON PLANS
5. CONCRETE, 2500 PSI OR 28 DAYS, PROVIDE 4,300 PSI TYPE V CONCRETE
6. CONTRACTORS SHALL BE REQUIRED TO REPAIR ALL CRACKS IN WALLS AND ROOF
7. MAILING SHALL COMPLY WITH CBC TABLE 2304.91
8. WINDOWS, VINYL, DUAL GLAZED TO MATCH EXISTING
9. EXTERIOR LATH: GRAZED 2 LAYERS OF GRADE D PAPER OVER ALL WOOD BASED SHEATHING, PROVIDE ONE LAYER AT AREAS WITHOUT MECHANICAL CONTRACTOR TO PROVIDE DUCTING AND DIFFUSER FROM NEW VERTICAL MECH EQUIPMENT TO NEW SPACE
10. MECHANICAL CONTRACTOR TO PROVIDE DUCTING AND DIFFUSER FROM NEW VERTICAL MECH EQUIPMENT TO NEW SPACE
11. MECHANICAL CONTRACTOR TO PROVIDE DUCTING AND DIFFUSER FROM NEW VERTICAL MECH EQUIPMENT TO NEW SPACE
12. CALL DEDICATED BEFORE DIGGING
13. THE PROJECT SHALL BE SUBJECT TO THE CITY OF SAN JOSE'S ANNUAL YEAR OF PLAN APPROVAL FROM BUILDING AND SAFETY UNLESS AN EXISTING IS SUBMITTED TO THE CITY AND APPROVED BY THE CITY BUILDING DEPT. TO DRAIN SURFACE WATER AWAY FROM THE FOUNDATION
14. THE GRADE SHALL SLOPE A MIN OF .6% IN THE FIRST 10'.

ELECTRICAL NOTES

- SMOKE/CHIBRON MONITORED DETECTORS SHALL BE PERMANENTLY WIRED TO THE OCCUPANT MOTOR SENSOR SWITCH. SMOKE/CHIBRON DETECTORS SHALL BE EQUIPPED WITH A BATTERY BACK-UP. SMOKE DETECTORS SHALL EJECT A SIGNAL WHEN BATTERIES ARE LOW. SMOKE DETECTORS SHALL BE INTERCONNECTED SO WHEN ONE ALARM SOUNDS, ALL OTHERS SOUND.
- BEDROOM BRANCH CIRCUITS SHALL BE AFC FAULT CIRCUIT PROTECTED PER NEC ART. 240-12(B).
- LIGHT FIXTURES:
OCCUPANT MOTOR SENSOR SWITCH
OCCUPANT MOTOR SENSOR LIGHTS TO BE HIGH EFFICACY OR
LED LIGHTING
-EXTERIOR LIGHTS SHALL BE HIGH EFFICACY OR CONTROLLED BY A
"MANUAL" OCCUPANT MOTOR SENSOR. OCCUPANT SENSOR TO BE
CONTROLLED BY A MANUAL/AUTO-OFF SENSOR ULTRASONIC OR
PIR. ALL LIGHTS SHALL BE 100% LED. ALL LIGHTS SHALL MEET ALL
REQUIREMENTS.

ELECTRICAL LEGEND:

- SINGLE POLE SWITCH
3-WAY SWITCH
SWITCH WITH DIMMER
110V DUPLEX CONVENIENCE OUTLET
110V DUPLEX CONVENIENCE OUTLET
1/2 HOT
TELEVISION CABLE JACK
CEILING MOUNTED LIGHT FIXTURE
VERIFY LOCATION W/ DEVELOPER
ROUND RECESSED HIGH EFFICACY LIGHT FIXTURE
SMOKE DETECTOR, CM INDICATES COMBO
CARBON MONOXIDE/ SMOKE DETECTOR
DOOR CHIME
WALL MOUNTED HIGH EFFICACY FIXTURE
EXHAUST FAN
220V OUTLET / VERIFY LOCATION

FLOOR PLAN NOTES:

- | | | |
|----|--|--------|
| 1 | SOURCE FOOTING | 164 SF |
| 2 | NEW BEMENT | |
| 3 | ALL BEDROOMS SHALL HAVE AT LEAST ONE EXTERIOR DOOR OR OPERABLE WINDOW FOR EMERGENCY ESCAPE AND RESCUE. PROVIDE OPERABLE AREA OF 5.7 SQ. FT. WITH A MINIMUM CLEAR HEIGHT OF 24". A MINIMUM SILL CLEAR WIDTH OF 20" AND A MAXIMUM SILL HEIGHT OF 44". ABOVE FINISH FLOOR | |
| 4 | THE CONTRACTOR SHALL PROVIDE NEW SHAL AND BRING ANY DISCREPANCIES TO THE ARCHITECT'S ATTENTION FOR ACTION OR CLARIFICATION | |
| 5 | 2 X 4 STUD WALL | |
| 6 | LINE OF EXISTING HOUSE | |
| 7 | NEW WALLS SHOWN SHARED | |
| 8 | NEW 1 HOUR/FARTY WALL-5TC 50 SOUND RATING, EXTEND FROM FOUNDATION TO SHTO SEE DETAIL | |
| 9 | WALLS TO BE REMOVED | |
| 10 | 5/8" TYPE X DRYWALL ON RAFTAGE SIDE, TO | |
| 11 | NEW 4" DIA. SINKHOLE "ISOLA TUBE" ICC NO. REF 233, INSTALL BETWEEN RAFTERS | |

ELEVATION KEYNOTES

- | | |
|---|--|
| 1 | EXTERIOR PLASTER (STUCCO) WITH FINE SAND FINISH-
7/8" MIN THICK 3-COAT PORTLAND CEMENT OVER
PAPER BACKED METAL LATH PER 2508 CBC |
| 2 | WINDOW PER PLAN |
| 3 | 26 GAUGE (MIN) GALV FLASHING AT ROOF EDGES |
| 4 | 26 GAUGE (MIN) GALV WEEP SCREED |

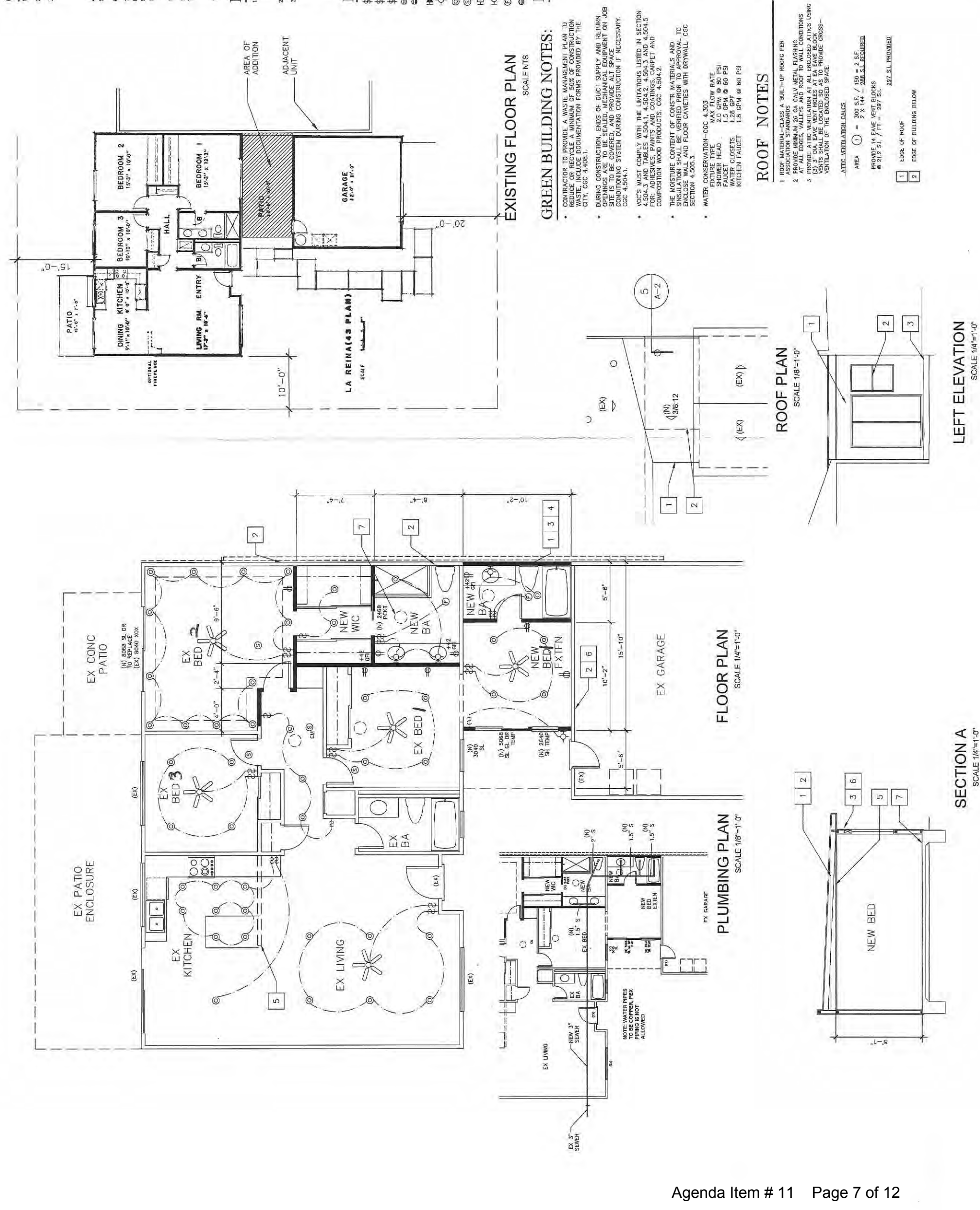
SECTION NOTES

- | | |
|---|--|
| 1 | ROOF SHEATHING PER STRUCTURAL DRAWINGS |
| 2 | ROOF RAFTERS PER STRUCTURAL DRAWINGS |
| 3 | 2X STUD WALL |
| 4 | CONCRETE SLAB AND FOUNDATION PER STRUCTURAL DRAWINGS |
| 5 | WOOD BEAM PER STRUCTURAL DRAWINGS |
| 6 | 1/2" GYPBOARD (TYPICAL UNLESS NOTED OTHERWISE) |
| 7 | INSULATION - R30 AT ROOF, R13 AT WALLS |

SCALE 1/4"=1'-0"

SECTION A

SCALE 1/4"=1'-0"

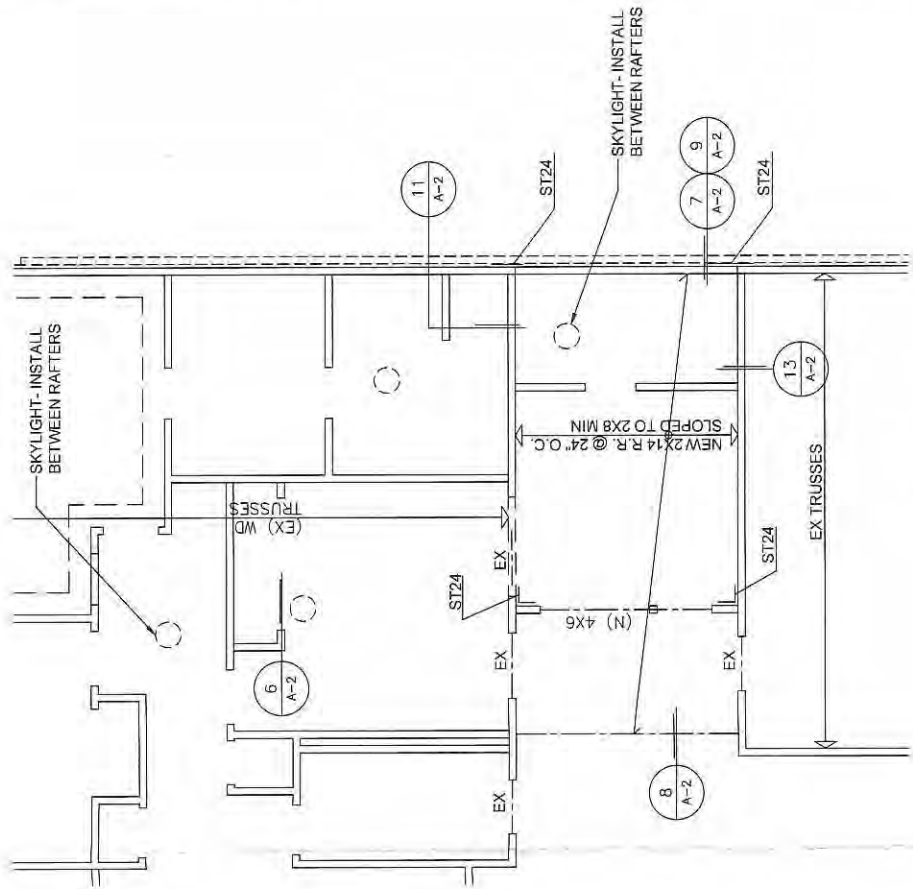


FRAMING PLAN NOTES:

1. ROOF SHEATHING- 1/2" CDX PLYWOOD WITH RADIANT BARRIER, UNLOCKED WITH 100' @ 6" O.C. SUPPORTED ENDS AND BOUNDARY, 100' @ 12" O.C. FIELD HAULING (USE 1X6 SOLID TAG AT OVERHANGS)
2. PROVIDE 4X POSTS AT EACH END OF 4X10 OR LARGER MEMBERS, DOUBLE STUDS AT 4X8, SINGLE STUD FOR 4X6 OR SMALLER MEMBERS
3. SILL PLATES- 2X4 PTDF SILL PLATES WITH 5/8" DIA ANCHOR BOLTS X 7" EMBEDMENT W/ 3X3X51/8" PLATE WASHERS @ 6'0" O.C. AND 12" FROM ENDS ON PER SCHEDULE

ROOF RAFTERS
PER TABLE RB02.5.1(1)
2X8 @ 24" O.C. SPANS 12'-10"

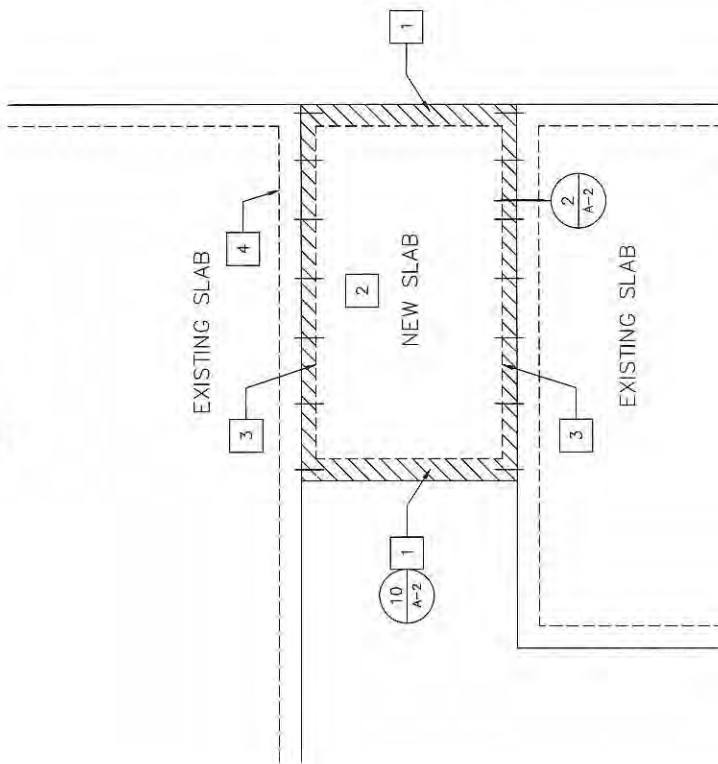
BM @ BED
L=5' W=35(2)=70
M=218 S=2.4 USE 4X4



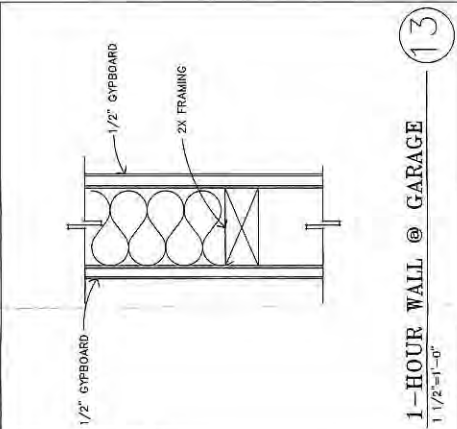
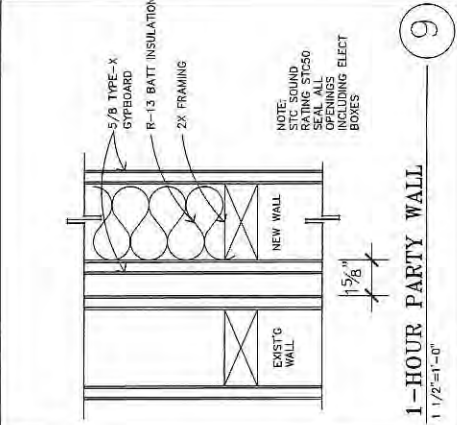
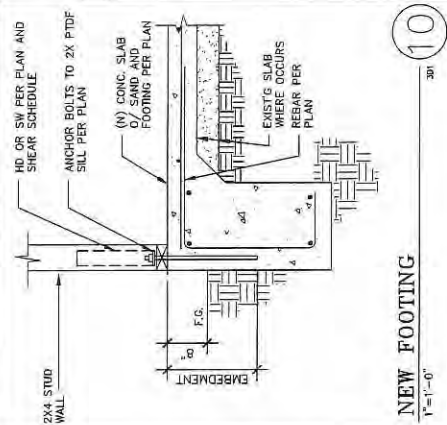
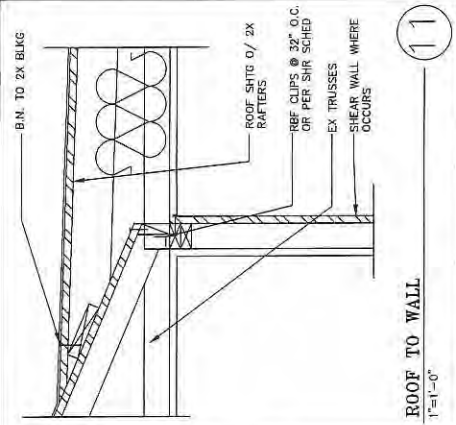
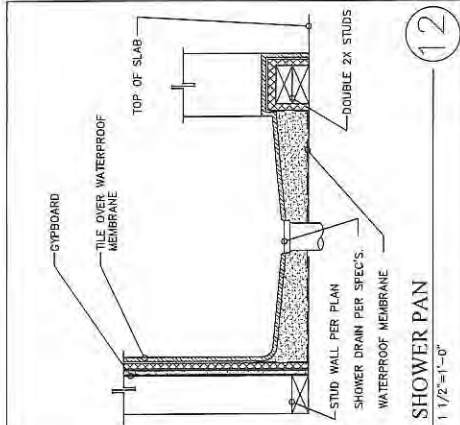
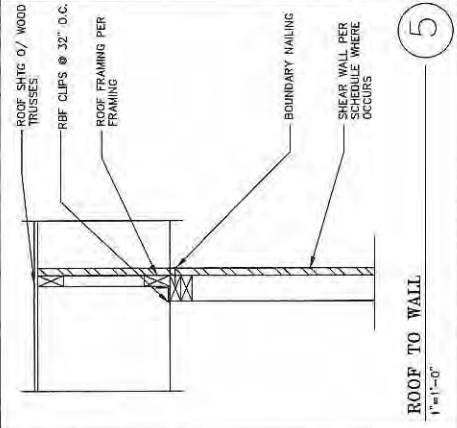
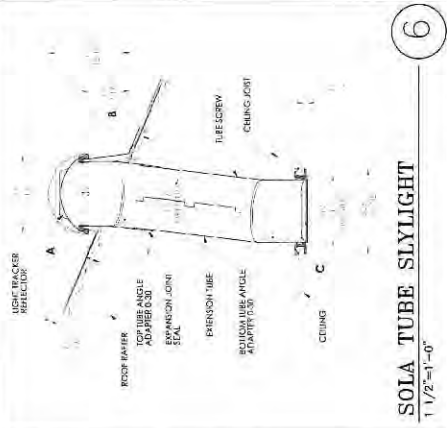
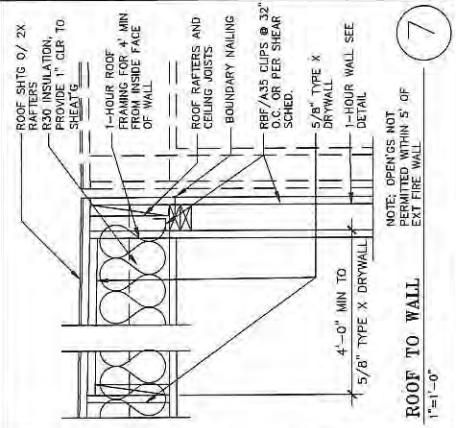
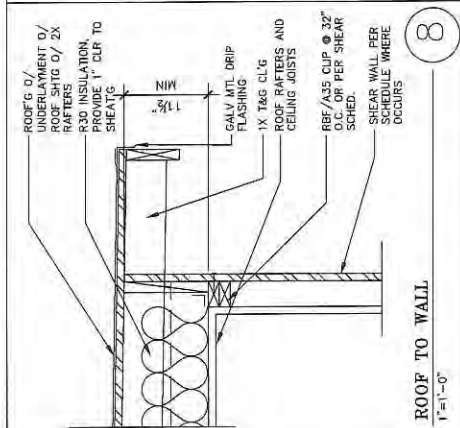
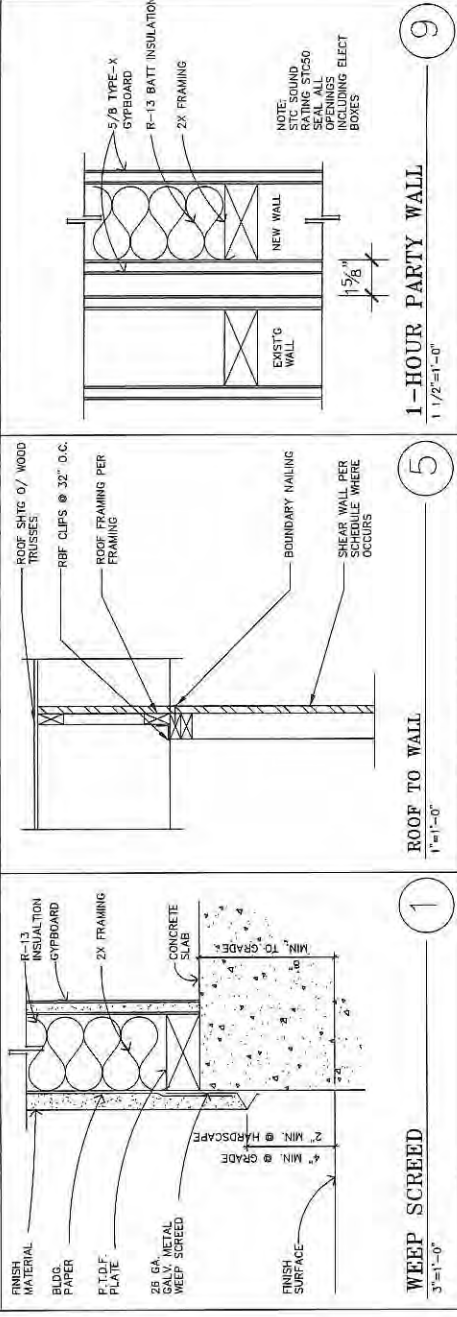
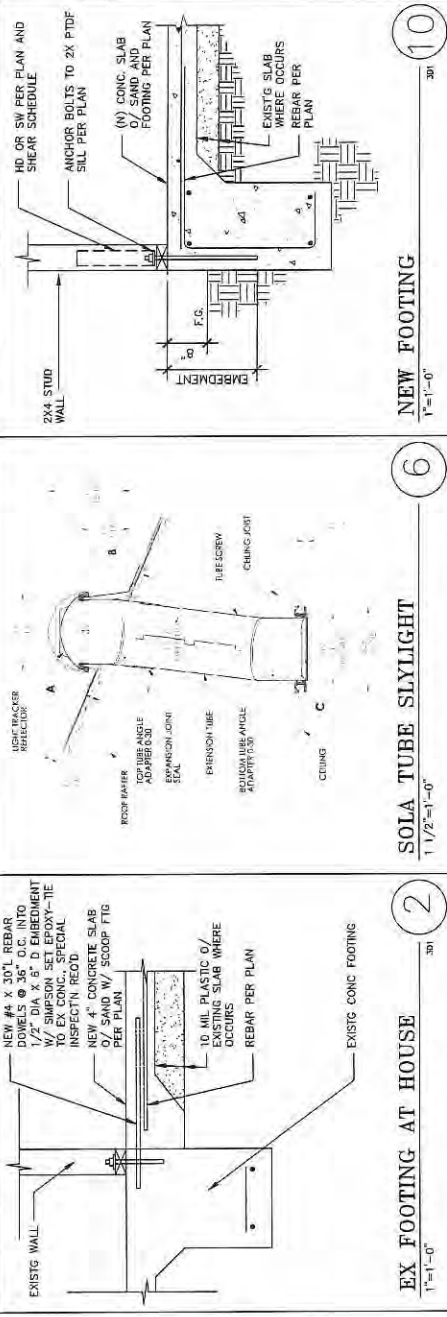
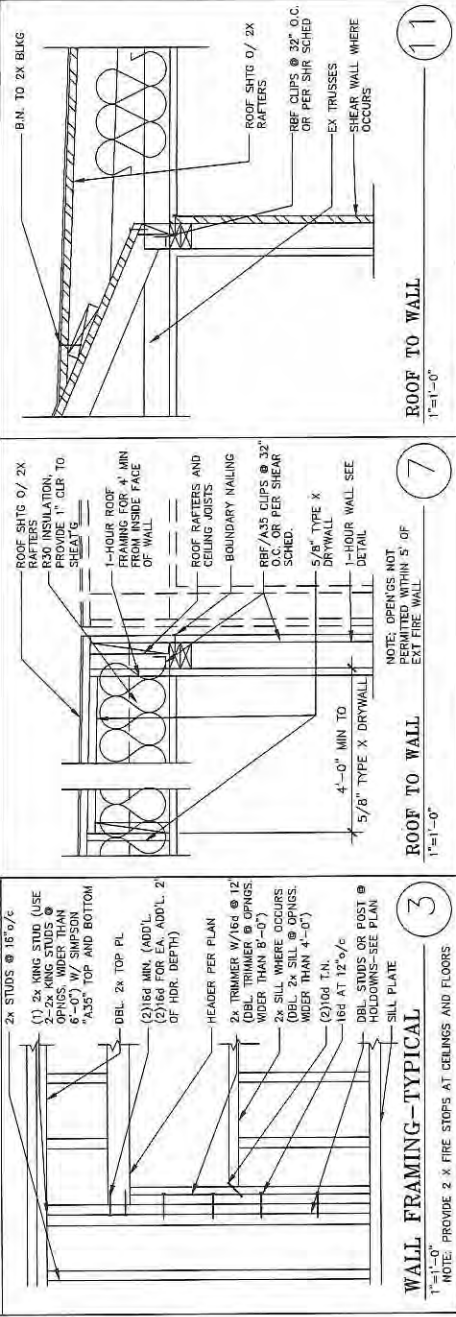
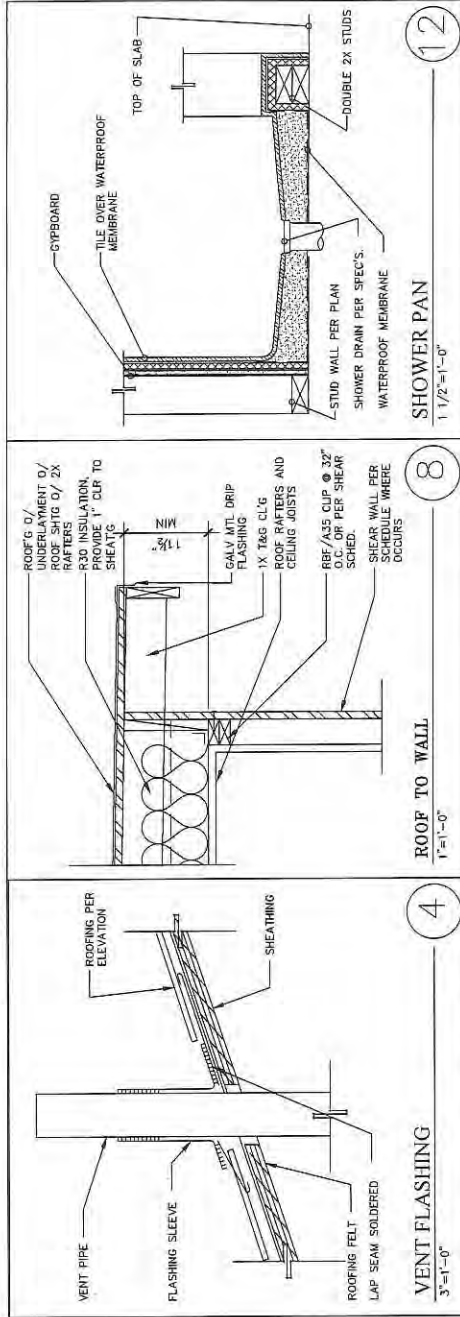
FRAMING PLAN
SCALE 1/4"=1'-0"

SLAB PLAN NOTES:

1. NEW FOOTINGS- 12" WIDE X 18" D W/ (2) #4 TOP AND BOTTOM
2. NEW SLAB- 4" CONCRETE W/ #3 REBAR @ 18" O.C. EA WAY OVER 2" SAND OVER 10 MIL MOISTURE BARRIER OVER 2" SAND OR OVER 10 MIL MOISTURE BARRIER OVER EX SLAB
3. 8" W X 8" D SCOPED FOOTING- DOWEL INTO EXISTING FOOTING W/ #4 X 30" L REBAR @ 36" O.C. INTO 5/8" DIA X 5' D HOLES W/ SIMPSON 50T L POSTS. 4" CONC. FILL. 4" CONC. AND (2) #4 18" AND SET TO EX FTS. SPECIAL INSPECTION REQD.
4. EXISTING FOOTING



SLAB PLAN
SCALE 1/4"=1'-0"



MANOR # 3238-B☐ ULWM☒ TLHM

Variance Request Form

SA 21217690

Model: <u>La Reina</u>	Plan: <u>SB903B</u>	Date: <u>1-12-18</u>
Member Name: <u>Chien Chuu Wang</u>	Signature: <u>[Signature]</u>	
Phone: <u>[Redacted]</u>	Email: <u>None</u>	
Contractor Name: <u>Lighthouse Construction</u>	Phone: <u>[Redacted]</u>	<u>[Redacted]</u>

Description of Proposed Variance Request ONLY:

front patio make Room Add & Bathroom

Dimensions of Proposed Variance Alterations ONLY:

15'-10" X 10'-2"

FOR OFFICE USE ONLY

RECEIVED BY: [Signature] DATE RECEIVED: 01/12/18 Check# MO-R107956495790 BY: Brandon/contractor

Alteration Variance Request

Check Items Received:

- ☒ Drawing of Existing Floor Plan
- ☒ Drawing of Proposed Variance
- ☒ Dimensions of Proposed Variance
- ☐ Before and After Pictures
- ☐ Other: _____

Complete Submittal Cut Off Date: 01/25/17

Meetings Scheduled:

Third AC&S Committee (TACSC): 02/20/17

United M&C Committee: _____

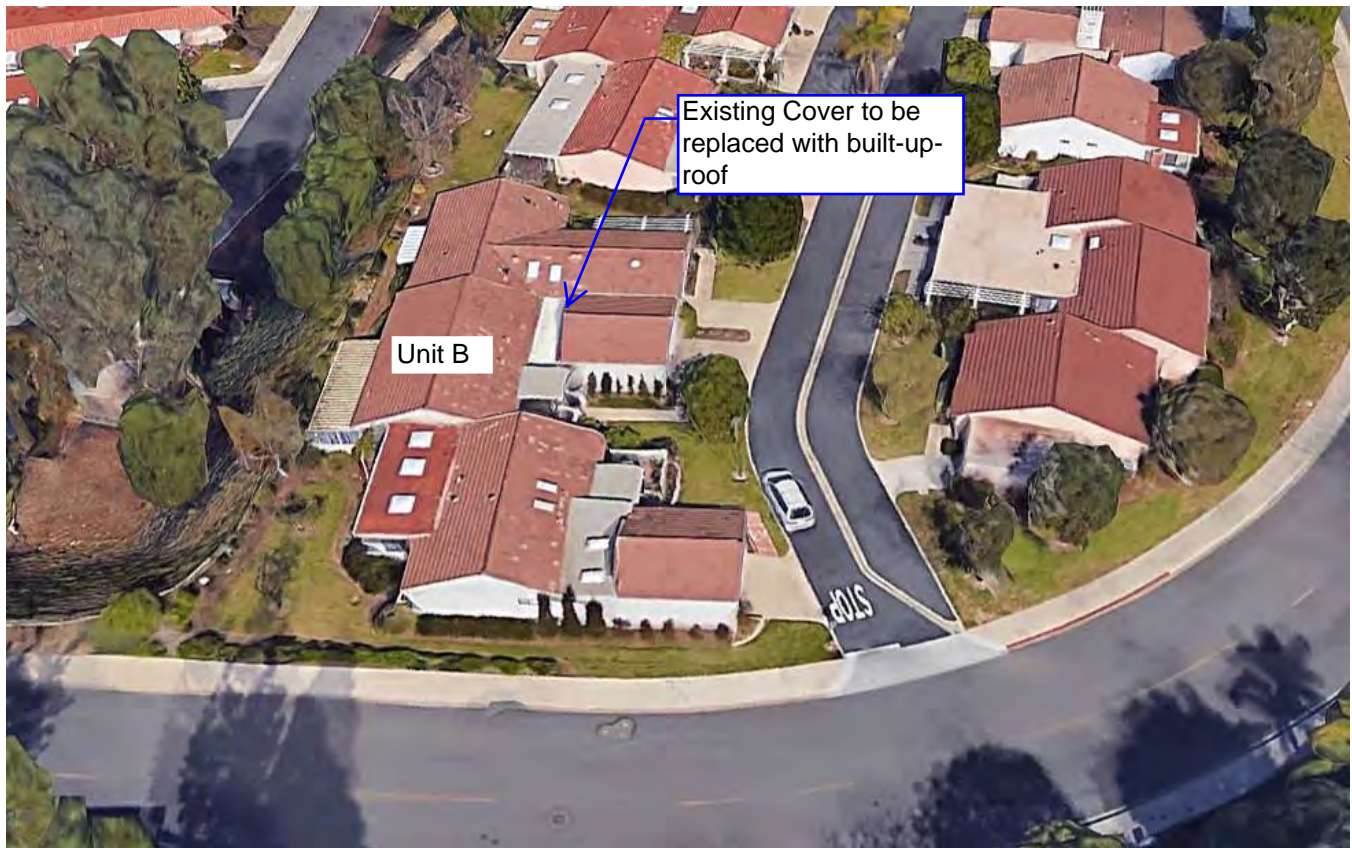
Board Meeting: 03/20/17☐ Denied☐ Approved☐ Tabled☐ Other

Agenda Item # 11 Page 10 of 12

Attachment: 3



Attachment: 4





STAFF REPORT

DATE: February 26, 2017
FOR: Architectural Control and Standards Committee
SUBJECT: Variance Request
Mr. Reza Karimi of 5037 (Villa Reposa, C11RC)
Room Addition and Patio Cover on Rear Patio

RECOMMENDATION

Staff recommends the Board approve the request for a room addition and patio cover on rear patio with the conditions as stated in Appendix A.

BACKGROUND

Mr. Reza Karimi of 5037 Avenida Del Sol, a Villa Reposa style manor, is requesting Board approval of a variance to construct a room addition and patio cover on the same footprint as the original patio shown on the building's condominium plan (see Attachment 1). The cost of the proposed alteration would be borne by the Member. The room addition would take place on Exclusive Use Common Area only.

There is an existing rear patio extension measuring 9 feet, 10 inches deep by 26 feet, 10 inches wide that does not have prior Mutual Consent. This extension will be removed as part of this Variance.

There are no Architectural Standard Plans for a room addition with patio cover on this style of unit; a Variance is required.

DISCUSSION

The proposed room addition with patio cover will be constructed on the existing patio footprint ('T'-shape concrete slab consisting of 249 square feet) and will be constructed of wood frame with exterior stucco finished to match the existing building.

The existing patio slab will be removed and replaced with a new slab and footings to meet building code. The room addition will involve removing the living room wall and sliding glass door that abuts the rear patio along with the sliding glass door of the second bedroom. A new single door would be installed leading from the second bedroom to the room addition, while a cased opening would be constructed between the living room and new room.

On the rear elevation, a 8 foot wide by 5 foot tall window would be installed in the center of the new living room extension, while a 4 foot wide by 5 foot tall window would be installed behind the second bedroom, which will involve removing the living room wall and sliding glass door along with the sliding glass door of the second bedroom. The left elevation would have a 3 foot wide by 5 foot high window; the right elevation depicts a set of French doors measuring 4 feet, 8 inches wide by 6 feet, 8 inches tall, leading out onto the remaining covered patio.

A proposed new roof will cover both the new room addition and the remaining portion of the patio by follow the existing roofline at 15 feet high with pitch matching the rest of the roof (4:12), and will extend to the end of the new room addition with a foot wide eave. The roof extension would be finished with a Spanish tile to match the existing roof.

A City permit that would ensure Title 24 is met will be required for Mutual approval.

A City of Laguna Woods building permit final would verify compliance with all applicable building codes to include light, ventilation, and egress.

A Neighbor Awareness Notice was sent to units 5035, 5036 and 5038 on January 31, 2018 due to being within 150 feet with a line of sight to the alteration.

No previous requests for rear patio room additions for Villa Reposa style units are on file, however various model floor plans have been approved for rear patio room additions, such as 5448 in September 2017, 5227 in December 2017, 3255-A in December 2017 and 5550-A in December 2017.

At the time of preparing this report, there are thirteen open Mutual Consents for Manor 5037 as part of a whole unit remodel. This includes a side patio room addition that was approved by the Board via Variance in November 2017. Due to the length of the variance process, the Mutual Consents have expired. The member is in the process of renewing the Mutual Consents that have expired.

Mutual Consents 5037		
Description	Issued Date	Mutual Permit
Skylight in Garage	8/7/2017	171681A
Shower to Shower	8/8/2017	171680
Door Revision (Entry)	8/8/2017	171680
Electrical Throughout	8/8/2017	171680
Wall Revision (Entry)	8/8/2017	171680
Wall Revision Bath	8/8/2017	171680
Wall Revision Living Room	8/8/2017	171680
Tile on Courtyard	8/8/2017	171680
Skylight in Living Room	8/8/2017	171680
Glass Windscreen/Room Addition (Variance)	12/12/2017	172468
Demo Column/Entry (Variance)	12/12/2017	172468
Demo Beam/Entry (Variance)	12/12/2017	172468
Deco Brick/Wall	12/12/2017	172468

All future costs and maintenance associated with the subject alterations are the responsibility of the Mutual member(s) at 5037.

Prepared By: Gavin Fogg, Alterations Inspector II

Reviewed By: Kurt Wiemann, Permits, Inspections & Restoration Manager

ATTACHMENT(S)

Appendix A: Conditions of Approval

Attachment 1: Site Plan

Attachment 2: Variance Request

Attachment 3: Photos

Attachment 3: Map

APPENDIX A

CONDITIONS OF APPROVAL

Conditions of approval would be as follows:

1. No improvement shall be installed, constructed, modified or altered at Manor **5037**, ("Property") within the Third Laguna Hills Mutual ("Mutual") unless and until a Mutual Consent for Manor Alterations application for the improvement has been made to, and approved, in writing, by, the Village Management Services, Inc. ("VMS, Inc."), Manor Alterations Division ("Division"), or, in the event of a Variance from the Mutual's Alteration Standards, the Architectural Control and Standards Committee ("ACSC"). In the event written permission is given for the installation, construction, modification or alteration of any improvement(s) upon the Property, the Member Owner or Owners ("Member Owner") agrees to comply with the Mutual's Governing Documents and any specific terms or conditions imposed, and that the installation, construction, modification or alteration shall be in strict compliance with the terms of the approval.
2. A Mutual Consent for Manor Alterations has been granted at **5037** for **Room Addition and Patio Cover on Rear Patio**, subject to the attached plans stamped approved and is subject to the final inspection by the Division. Any variations to the approved attached plans are not allowed and could result in a stop work notice and/or severe fines to the Member.
3. Member Owner hereby consents to and grants to the Mutual and the Division, and their representatives, a right of entry upon the Property at any time to be used to inspect the Property and the improvements thereon and for the Mutual and the Division, and their representatives and contractors to remedy any violation upon the Property, including, but not limited to, removing trash, removing any improvement installed without approval or modifying an improvement to bring the same into compliance with the terms of the approval.
4. All costs for maintenance, repair, renovation, replacement or removal of the improvement, present and future, are the responsibility of the Property's Member Owner at 5037 and all future Mutual members at 5037.
5. Member Owner shall be responsible for all activity by contractors, subcontractors, material suppliers and their employees and agents and any others who perform work on the Property, including any violation of the Mutual's Governing Documents, including, but not limited to, traffic and parking violations, maintenance of a clean job site at all times, and use of Mutual property for storage of equipment or materials without prior approval. Member Owner acknowledges and agrees that all such persons are his/her invitees. Member Owner shall be responsible for informing all his/her invitees of the Mutual's Rules and Regulations.
6. Member Owner shall be liable for any violation of the Mutual's Governing Documents by any invitee, including any fine, assessment, traffic or other charge levied in connection therewith.
7. Member is responsible for following the gate clearance process (<http://www.lagunawoodsvillage.com/residents/resident-services> and click on documents and Business Pass Application Instructions) in place to admit contractors and other invites.

8. Member Owner's contractors and other invitees shall have business signage on vehicles and travel to and from the job site by the most direct route available and are not authorized to use Mutual recreational facilities or other amenities while they are in the Village for performance of work in connection with the Property.
9. Parking of contractors or other invitees' vehicles is prohibited in covered resident parking, open resident spaces, handicapped spaces or fire lanes. Contractors or other invitees must park on the street. To the extent possible contractors' or other invitees' vehicles should be limited in number.
10. Member Owner(s) of the Property must sign and submit to the Mutual, c/o VMS, Inc., at the Division office located in the Laguna Woods Village Community Center, an executed and notarized "Recordable Common Area Agreement" for a proposed improvement that would utilize any portion of the Mutual's Common Area. Prior to the issuance of a Mutual Consent for Manor Alterations, that "Recordable Common Area Agreement" must be filed with the Orange County Clerk/Recorder.
11. A City of Laguna Woods permit is required, which may include the requirement to obtain clearance from the South Coast Air Quality Management District (Asbestos Hot Line at (909) 396-2336). Prior to the issuance of a Mutual Consent for Manor Alterations, the appropriate City of Laguna Woods permit number(s) must be submitted to the Division office located in the Laguna Woods Village Community Center. The City permit must be finalized within the prescribed timeframe, and a copy of the final permit must be submitted to the Division within two weeks.
12. Prior to the issuance of a Mutual Consent for Manor Alterations, a complete set of unit specific plans prepared by a licensed architect or structural engineer depicting the proposed improvement must be submitted to the Division office located in the Laguna Woods Village Community Center. The plans must depict any required structural modifications ensuring the structural integrity of the building is maintained upon completion of the proposed improvement.
13. Prior to the issuance of a Mutual Consent for Manor Alterations, if required, a Mutual Roof Alteration Notification ("Tie-In Form") must be submitted to the Division. All roof tie-ins must be performed by a C-39 Licensed Contractor. The Member Owner may hire a C-39 Licensed Contractor of his/her own choice to perform roof tie-ins for the installation of solar panels on all roof types except PVC Cool Roofs. For PVC Cool Roofs, regardless of the roof type, all tie-ins must be performed by the Mutual's roofing contractor at the Member Owner's expense. All tie-ins may only be made to sound structural elements. Existing structural elements proposed to be tied to, which exhibit signs of dry rot or other structural defects, must first be replaced or repaired at the Member Owner's expense during construction of the improvement.
14. Prior to the issuance of a Mutual Consent for Manor Alterations, the Member Owner shall request a Landscape Department inspection in order to assure all landscape, irrigation, and drainage modifications associated with the improvements are identified and completed by the Landscape Department at the expense of the Member Owner. All gutter drainage shall be directed away from structures, free standing walls, foundations, and pedestrian walkways.
15. Prior to the issuance of a Mutual Consent for Manor Alterations, any altered exterior surface should match the Building color; vinyl fence/gate will be either white or taupe, tubular steel or wrought iron fence/gate will be black or white; the approved colors and materials are

identified as "Third Laguna Hill Mutual Color Selections" at Resident Services, located at the Community Center first floor.

16. Prior to the Issuance of a Mutual Consent for Unit Alterations, the Member shall post a Conformance Deposit in the amount of \$250 for all improvements exceeding a total of \$500. The Conformance Deposit will be held until Final City Building Permit Issuance if required, to assure no damages to Mutual property occurs during construction, including, but not limited to, internet/TV, landscaping, or exterior walls/roof.

17. The Conformance Deposit shall be held by the Mutual and applied, at the Mutual's sole discretion, to any fine levied against the Member Owner or the Property, to cover and/or recoup any costs whatsoever, including, but not be limited to, administrative and legal costs, incurred by the Mutual or VMS, Inc., in connection with the Property, or to any unpaid charges or assessments on the Mutual's account for the Property. For example, the Mutual could apply all or a portion of the Conformance Deposit to cover the following: fines levied against any invitee of Member Owner; fines levied for construction violations; costs incurred by the Mutual in repairing damage to Mutual property caused by Member Owner's contractor or other invitee; costs incurred by the Mutual in curing a violation on the Property; costs incurred in removing or altering an improvement upon the Property; or to an unpaid assessment, special assessment, late charge, interest or collection costs posted to the Mutual's account for the Property. The foregoing list is illustrative only and in no way represents the only situations where the Mutual could apply all or a portion of the Conformance Deposit.

18. If at any time the amount of the Conformance Deposit falls below 3/4ths of the amount originally required to be posted, Member Owner agrees to immediately deposit additional sums with the Mutual in an amount sufficient to return the Conformance Deposit to the originally required level. Until the Conformance Deposit is so replenished, an automatic stop work order shall be in effect.

19. Any remaining Conformance Deposit is refundable if the Member Owner notifies the Division, in writing, that the improvement(s) for which the Conformance Deposit was posted have been completed in accordance with the approval, and the Division agrees with the same. The Mutual will mail the unused portion of the Conformance Deposit, if any, to the Member Owner's address of record with the Mutual. Under no circumstances shall Member Owner be entitled to any interest on any portion of the Conformance Deposit. If no written request for return of a Conformance Deposit is made by Member Owner within two years from the date when the Conformance Deposit is posted with the Mutual, the Conformance Deposit will be deemed forfeited to the Mutual.

20. All improvements must be installed in accordance with the California State Building Code, and the published Mutual Architectural Alterations Standards. See <http://www.lagunawoodsvillage.com>.

21. During construction, work hours established by the Mutual and the Noise Ordinance set forth in the City of Laguna Woods Municipal Code must be adhered to at all times.

22. During construction, both the Mutual Consent for Manor Alterations and the City Building Permit must be on display for public view at all times in a location approved by the Division.

23. It is mandatory that no waste or materials associated with the construction be

dumped in the Village trash bins; such waste or materials associated with the construction must be disposed of offsite by the contractor.

24. The Mutual Consent for Manor Alterations expires six months after the date of approval, unless an application is submitted with fees and approved by the Division for an extension. Only one extension for a maximum of an additional six months may be granted.

25. Violations of the forgoing conditions or the Mutual's Governing Documents (See <http://www.lagunawoodsvillage.com>), including, but not limited to, work outside the approved plans, excessive noise, illegal dumping, or working after hours, will result in disciplinary action, which could result in a stop work notice, loss of privileges and/or severe fines to the Owner Member. Such fines left unpaid will result in forfeiture of a portion or all of the Conformance Deposit required above or other legal remedy.

26. Mutual member shall indemnify, defend and hold harmless Third and its officers, directors, committee members and agents from and against any and all claims, demands, costs, fines, judgments, settlements and any other costs, expenses, amounts and liabilities arising from Mutual member's improvements and installation, construction, design and maintenance of same.

PROJECT:

MR. & MRS. REZA KARIMI

5037 AVENIDA DEL SOL
LAGUNA WOODS, CA 92637

APN: [REDACTED]

Phone: [REDACTED]

PROPOSE ROOM ADDITION (NEW BONUS ROOM)

SHEET	INDEX
CO	COVER
GN1	GENERAL NOTES
GN2	GENERAL NOTES
GN3	GENERAL NOTES
1 OF 3	T-24
2 OF 3	T-24
3 OF 3	T-24
A1	SITE PLAN
A2	EXISTING/DEMO FLOOR PLAN
A3	PROPOSED FOUNDATION
A4	PROPOSE FLOOR PLAN
A5	PROPOSE UTILITY PLAN
A6	PROPOSE ROOF PLAN
D1	DETAILS
S-1	STRUCTURAL FOUNDATION / FRAMING PLAN
SD1	STRUCTURAL DETAIL

PROJECT DATA

OCCUPANCY TYPE:	R-3/U
CONSTRUCTION TYPE:	V-B
CALIFORNIA BUILDING CODE:	2016 EDITION
CALIFORNIA MECHANICAL CODE:	2016 EDITION
CALIFORNIA PLUMBING CODE:	2016 EDITION
CALIFORNIA ELECTRIC CODE:	2016 EDITION
CALIFORNIA ENERGY CODE:	2016 EDITION
CALIFORNIA FIRE CODE:	2016 EDITION

MINIMUM 50% MATERIAL THAT IS
REMOVED WILL BE RECYCLED



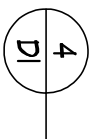

SQUARE FOOTAGE	
EXISTING FLOOR	1729 sq ft
PROPOSE ADDITION	187 sq ft
TOTAL	1916 sq ft
NEW PATIO	64 sq ft
EXISTING GARAGE	593 sq ft
FOR ARCHITECTS USE ONLY - DIMENSIONS TAKEN TO FACE OF STUDS	

NOTES

THE IMPLEMENTATION OF THESE PLANS REQUIRE A CONTRACTOR AND / OR SUBCONTRACTOR THOROUGHLY KNOWLEDGEABLE WITH THE APPLICABLE BUILDING CODES AND METHODS OF CONSTRUCTION SPECIFIC TO THIS PRODUCT TYPE AND TYPE OF CONSTRUCTION.

WHEN AN AREA IS FOUND TO BE UNRESOLVED OR IN CONTRADICTION, EDGAR ESPARZA SHALL BE CONTACTED PRIOR TO COMMENCEMENT OF WORK

SYMBOLS

BUILDING SECTION REFERENCE	KEYNOTE REFERENCE
 SECTION NUMBER 14 SHEET NUMBER	 KEYNOTE NUMBER
DETAIL REFERENCE	REVISION DELTA
 DETAIL NUMBER D1 SHEET NUMBER	 REVISION NUMBER

SCOPE OF WORK

PROPOSE ADDITION TOWARD THE REAR OF THE DWELLING (BONUS ROOM) WITH A PATIO ACCESS FROM (E) BEDROOM 1 AND (N) BONUS ROOM

CONSULTANTS

DESIGNER	EDGAR ESPARZA
STRUCTURE ENGINEERING	[REDACTED]
TITLE - 24	
PERFECT DESIGN & DEVELOPMENT, INC.	

VICINITY MAP



5037 AVENIDA DEL SOL
(JOB SITE)

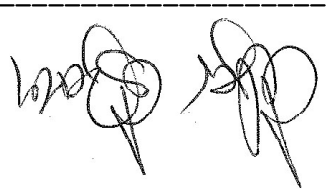
E DESIGN
EDGAR ESPARZA

SIGNATURE:

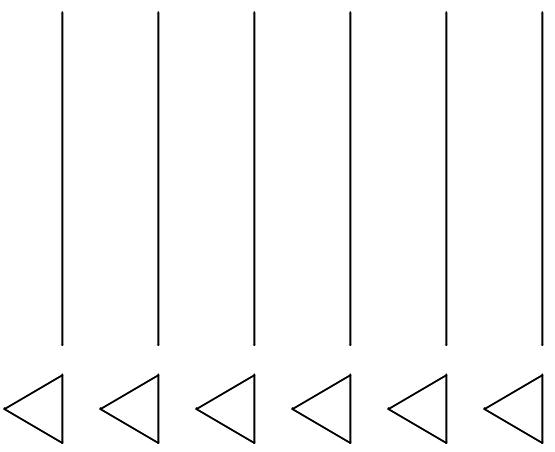
CO

MR. & MRS. REZA KARIMI

5037 AVENIDA DEL SOL
LAGUNA WOODS, CA 92637

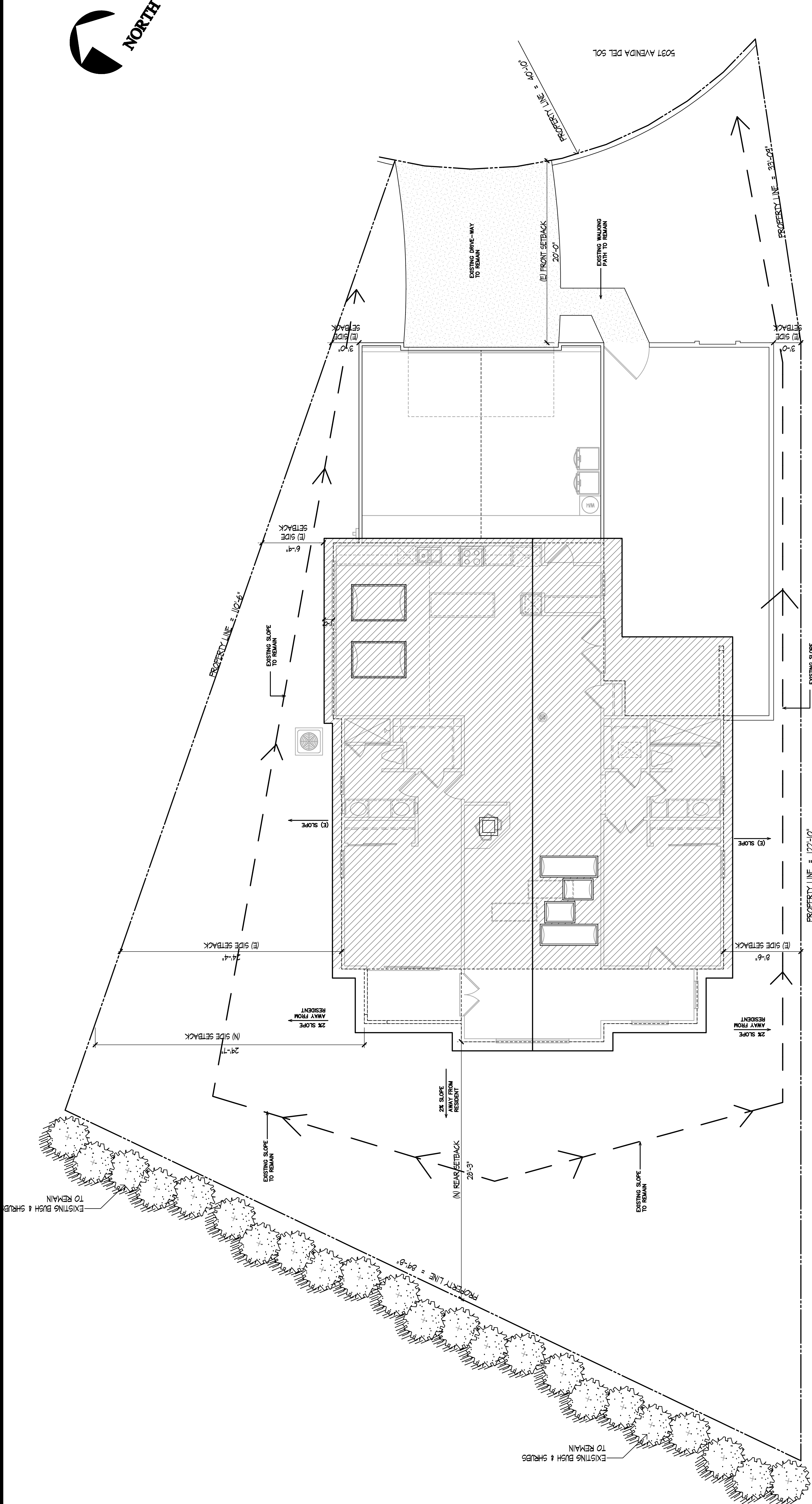
SIGNATURE: 

E DESIGN
EDGAR ESPARZA



PROPOSE SITE PLAN

SCALE: 3/16"=1'-0"




N) 2X4 STUD WALL
N) 2X6 STUD WALL
DEMO WALL /
REMOVE WALL

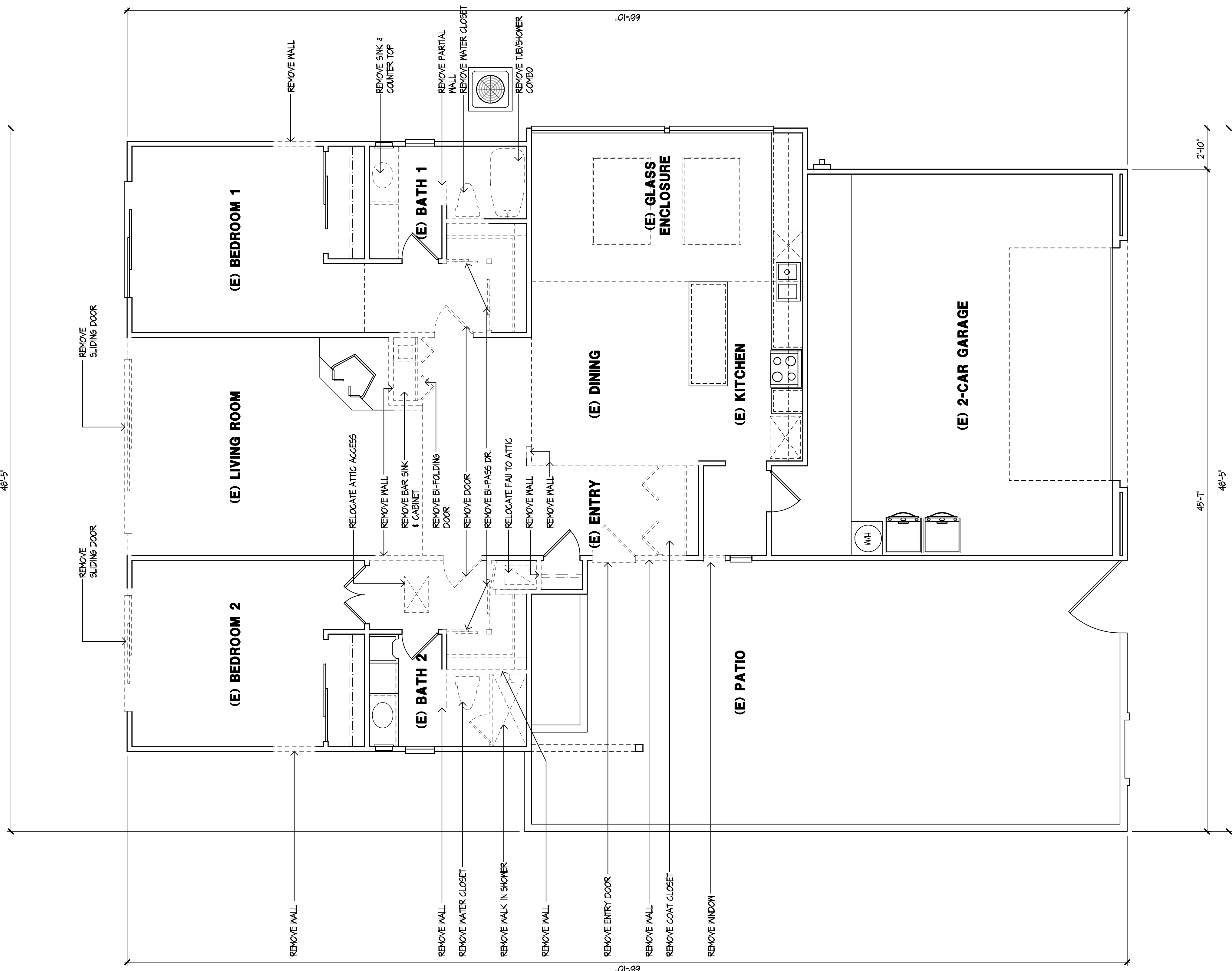
EXISTING / DEMO PLAN

SCAF: 1/4"-1"-0"


MR. & MRS. REZA KARIMI
5037 AVENIDA DEL SOL
LAGUNA WOODS, CA 92637

E DESIGN
EDGAR ESPARZA

SIGNATURE: 



5037 AVENIDA DEL SOL
LAGUNA WOODS, CA 92637



EDGAR ESPARZA

EXISTING SLAB TO REMAIN

EXISTING SLAB TO REMAIN

CONCRETE PLACEMENT

THE FOLLOWING ARE ARCHITECTURAL MINIMUM STANDARDS
ONLY. REFER TO PROJECT STRUCTURAL ENGINEERS
DRAWINGS FOR NOTES AND INFORMATION NOT SHOWN HERE.

CONCRETE SLABS:

CONCRETE SLABS SHALL BE PLACED OVER A MINIMUM OF 1" CLEAN DAMP SAND OVER 6 MIL. VISQUEEN OVER 1" CLEAN DAMP SAND.

CLEAN DAMP SAND. CONCRETE STOOPS:

CONCRETE STOOPS SHALL BE PROVIDED AT EACH EXTERIOR

DOOR
STOPS SHALL BE A MINIMUM OF 11' 0" UNIFORM THRU THE DOOR
ARCHITECTURAL CONCRETE MINIMUM REQUIRE
REFER TO GENERAL NOTES SHEET 10.0101.

SCOOP SHALL BE A MINIMUM OF 1'-0" WIDER THAN THE DOCK
6" EACH SIDE

STOOP SHALL PROJECT A MINIMUM OF 36" IN FRONT OF DOOR OPENING.
STOOP SHALL BE A MIN. OF 3-1/2" THICK.
STOOP SHALL BE ATTACHED TO HOUSE W/ 4 REBARS AT 24" O.C. (MINIMUM 2).
PRIOR TO REQUESTING A FOUNDATION INSPECTION, THE ENGINEER OF RECORD SHALL FIELD VERIFY THE BUILDING PAD HEIGHT AND SEND A LETTER TO THE CITY ENGINEER CERTIFYING THE BUILDING PAD HEIGHT AS COMPLYING W/ THE APPROVED GRADING PLAN.


CONCRETE PORCHES:

CONCRETE PORCHES SHALL BE PROVIDED AT THE FRONT OR MAIN ENTRY DOOR. PORCH DIMENSIONS ARE NOTED ON PLANS.

PORCH SHALL BE ATTACHED TO HOUSE W/ # 4 REBARS

AT 24th O/C. (MINIMUM 2)

INDICATES DROP IN 9 AB (SEE DETAILS)
EXCEPTION, WOOD PORCHES. SEE PLAN

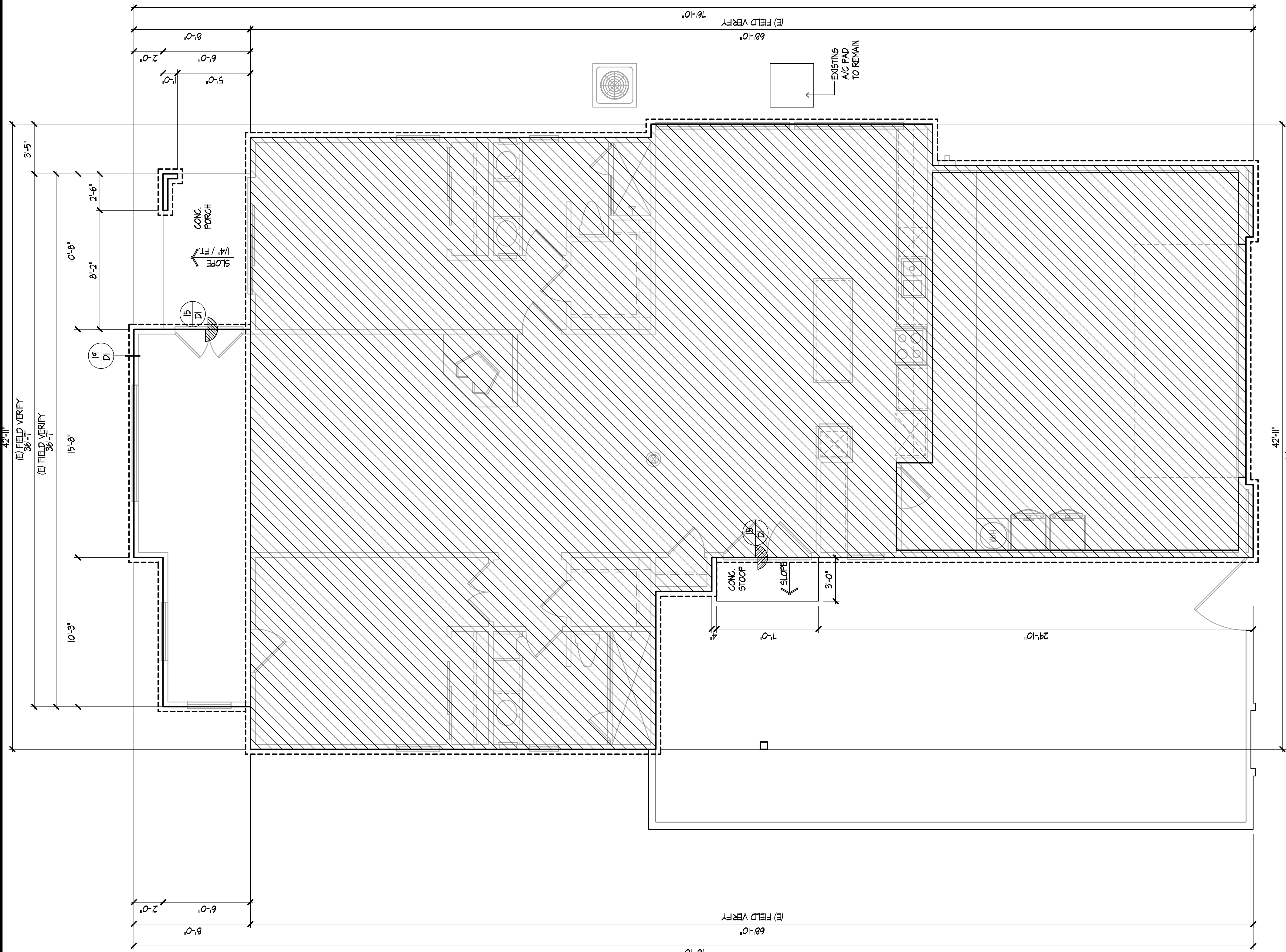


DRIVEWAYS AND FLATWORK:

REFER TO GENERAL NOTES SHEET 10-1 DIV. 5
ARCHITECTURAL CONCRETE MINIMUM REQUIREMENTS

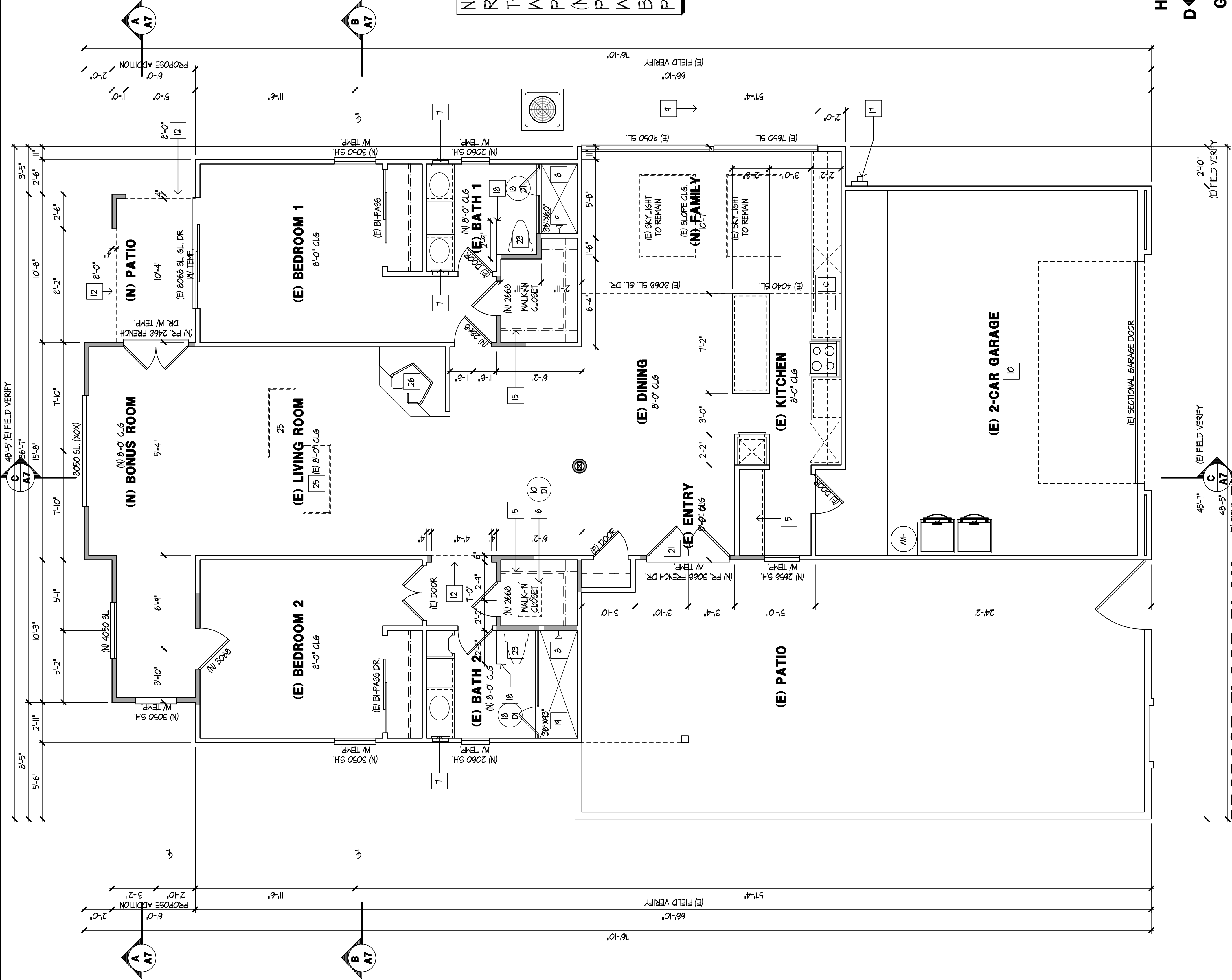
DEPARTMENT OF PUBLIC WORKS

PRIOR TO REQUESTING A FOUNDATION INSPECTION, THE ENGINEER OF RECORD SHALL FIELD VERIFY THE BUILDING PAD HEIGHT AND SUBMIT A LETTER TO THE CITY ENGINEER CERTIFYING THE BUILDING PAD HEIGHT AS COMPLYING W/ THE APPROVED GRADING PLAN.



PROPOSE SLAB PLAN

SCAF: 1/4"-1"-0"

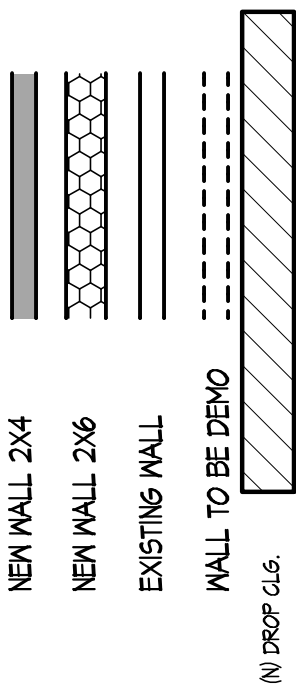


FLOOR PLAN NOTES

- 1. DOUBLE SINK WITH GARBAGE DISPOSAL (REFER TO INTERIOR ELEVATIONS)
- 2. BUILT-IN DISHWASHER WITH AIR GAP (REFER TO INTERIOR ELEVATIONS)
- 3. SLIDE-IN COOKTOP RANGE WITH EXHAUST HOOD AND MICROWAVE OVEN ABOVE AND CONVENTIONAL OVEN BELOW (VENT TO O.S.A.)
- 4. PROVIDE 34" REFRIGERATOR SPACE (PROVIDE PLUMBING RECESSED IN WALL FOR ICE MAKER)
- 5. PANTRY WITH ADJUSTABLE SHELVES UNO. (REFER TO INTERIOR ELEVATIONS)
- 6. LINE OF CABINET/SHELF ABOVE (REFER TO INTERIOR ELEVATIONS)
- 7. RECESSED MEDICINE CABINET (REFER TO INTERIOR ELEVATIONS)
- 8. SHATTER RESISTANT SHOWER ENCLOSURE-FULLY TEMPERED OR LAMINATED SAFETY GLASS
- 9. (E) AIR CONDITIONER PAD (VARY SIZE WITH MANUFACTURER)
- 10. (E) (E) 1/8" TYPE 'X' DRYWALL INTERIOR GARAGE FINISH
- 11. LINE OF SHELF (REFER TO PLAN FOR HEIGHT)
- 12. LINE OF SOFFIT ABOVE
- 13. LINE OF SHELF ABOVE (REFER TO PLAN FOR HEIGHT)
- 14. LINEN (REFER TO INTERIOR ELEVATIONS)
- 15. SHELF AND POLE
- 16. 20" X 30" MIN. (X MIN. 30" CLEAR HEADROOM) ATTIC ACCESS - 2BC 1209.2 (22" X 30" MIN. V. ATTIC MTD. FAU - CMC 904.11.1)
- 17. (E) ELECTRIC SERVICE MAIN, PROVIDE UFER GROUND (VERIFY LOCATION WITH UTILITY COMPANY)
- 18. LON WALL 442"
- 19. HAND MADE SHOWER PAN. SEE PLAN FOR SIZE.
- 20. KITCHEN ISLAND-SEE INTERIORS
- 21. DEAD BOLT AT TOP AND BOTTOM OF ENTRY DOOR AND TOP ONLY OF INTERIOR DOORS
- 22. CEILING BREAK
- 23. MASTER CLOSET (MAXIMUM 128 GALLONS PER FLUSH)
- 24. 2X6 SKYLIGHT BY OTHERS
- 25. 2X6 SKYLIGHT BY OTHERS
- 26. EXISTING FIREPLACE WITH HEARTH TO REMAIN
- 27. ELECTRIC DOUBLE OVEN MAKE AND MODEL BY OTHERS INSTALL PER MANUFACTURE SPECS.

NOTE:
ROOM ADDITION WILL TAKE AFFECT TOWARD THE REAR OF THE DWELLING. NEW ROOM NAME WILL BE (N) BONUS ROOM AS WELL AS (N) PATIO PROPOSE SQUARE FOOTAGE ADDITION FOR THE (N) BONUS ROOM 187 SQ. FT. AND FOR THE (N) PATIO 64 SQ. FT. ADDITION WILL HAVE THREE WINDOWS ONE ON THE LEFT SIDE AND TWO WILL BE LOCATED ON THE REAR SIDE ALSO ONE PAIR FRENCH DOOR TOWARD THE PATIO SIDE

WALL FRAMING LEGEND

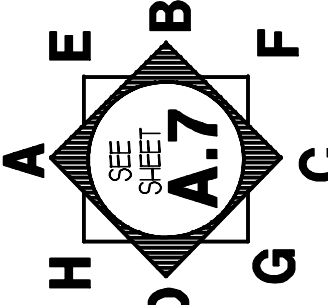


Area = 186,833 sq ft
Area = 64.0 units squared

SQUARE FOOTAGE	
EXISTING FLOOR	1729 sq ft
PROPOSE ADDITION	187 sq ft
TOTAL	1916 sq ft
NEW PATIO	64 sq ft
EXISTING GARAGE	593 sq ft

GENERAL PLAN NOTES

- 1) ALL INTERIOR DOORS TO BE HOLLOW CORE 1 3/8" THK. UNO. (REFER TO PLAN FOR SIZE)
- 2) ALL GARAGE MAIN DOORS TO BE HOLLOW CORE 1 3/8" THK. EXTERIOR GRADE (REFER TO PLAN FOR SIZE)
- 3) ALL HOUSE TO GARAGE DOORS TO BE 20 MINUTE FIRE RATED OR SOLID CORE SOLID WOOD OR HONEYCOMB CORE STEEL 1 3/8" THK. WITH SELF CLOSER AND SELF LATCHING AND TIGHT FITTING (REFER TO PLAN FOR SIZE)
- 4) ALL ENTRY DOORS AND TO BE SOLID CORE 1 3/4" THK. (REFER TO PLAN FOR SIZE)
- 5) PROVIDE 100 SQ. IN. OF MAKE UP AIR AT THE LAUNDRY ROOM. (TO REPLACE AIR BEING EXHAUSTED BY DRYER VENT AND EXHAUST FAN IF APPLICABLE) PER CMC 504.3.2



INTERIOR KEY

PROPOSE FLOOR PLAN

REPLACES

EDGAR ESPARZA

E DESIGN

MR. & MRS. REZA KARIMI
5037 AVENIDA DEL SOL
LAGUNA WOODS, CA 92637

ROOM ADDITION
(N) BONUS ROOM

A4

E DESIGN
EDGAR ESPARZA

NOTES:

HIGH EFFICACY LUMINAIRES MUST BE PIN BASED.
THE DUCTING FOR THE EXHAUST FAN SHALL BE SIZED ACCORDING TO AGRARE STANDARD 622 TABLE 11. THIS LOCAL EXHAUST FAN MAY OPERATE CONTINUOUSLY OR INTERMITTENTLY. INSTALLING THIS LOCAL EXHAUST FAN IN THE KITCHEN WILL ALLOW THE HOME OCCUPANT TO REGULATE THE INDOOR AIR QUALITY WHEN NEEDED.

TABLE 11. PRESCRIPTIVE DUCT SIZING REQUIREMENTS (FROM ASHRAE 62.2)									
DUCT TYPE	FLEX DUCT					SMOOTH DUCT			
	FAN RATING (cfm AT 0.25 IN. W.G.)	50	60	100	125	50	60	100	125
DIAMETER (IN)	FLEX DUCT					SMOOTH DUCT			
	MAXIMUM ALLOWABLE DUCT LENGTH (ft)								
3	X	X	X	X	X	5	X	X	X
4	10	3	X	X	035	35	5	5	X
5	NL	10	35	20	NL	135	35	35	35
6	NL	NL	125	45	NL	NL	145	145	145
7 AND ABOVE	NL	NL	NL	NL	NL	NL	NL	NL	NL

THIS TABLE ASSUMES NO ELBOWS, DUCT IS 1 FT. OF ALLOWABLE DUCT LENGTH FOR EACH TURN, ELBOWS OR FITTINGS, INTERPOLATION AND EXTRAPOLATION ON TABLE 11 IS NOT ALLOWED FOR FAN RATING VALUES NOT LISTED, USE THE NEXT HIGHER VALUE. THIS TABLE IS NOT APPLICABLE FOR A FAN RATING 1,025 cfm. NO JOINT ON DUCT LENGTH OF THIS SIZE.
NO JOINT ALLOWED ANY LENGTH OF DUCT OF THIS SIZE WITH ASSIGNED TURNS AND FITTINGS WILL EXCEED THE RATED PRESSURE DROP (0.25 IN WG).
IN ADDITION TO THE LOCAL EXHAUST FAN IN THE BATHROOMS AND KITCHENS, AN EXHAUST FAN SHALL BE USED TO PROVIDE VENTILATION FOR THE WHOLE HOUSE. THE WHOLE HOUSE EXHAUST FAN SHALL BE SIZED ACCORDING TO AGRARE STANDARD 622 TABLE 11. THIS LOCAL EXHAUST FAN MAY OPERATE CONTINUOUSLY OR INTERMITTENTLY. INSTALLING THIS LOCAL EXHAUST FAN IN THE KITCHEN WILL ALLOW THE HOME OCCUPANT TO REGULATE THE INDOOR AIR QUALITY WHEN NEEDED.

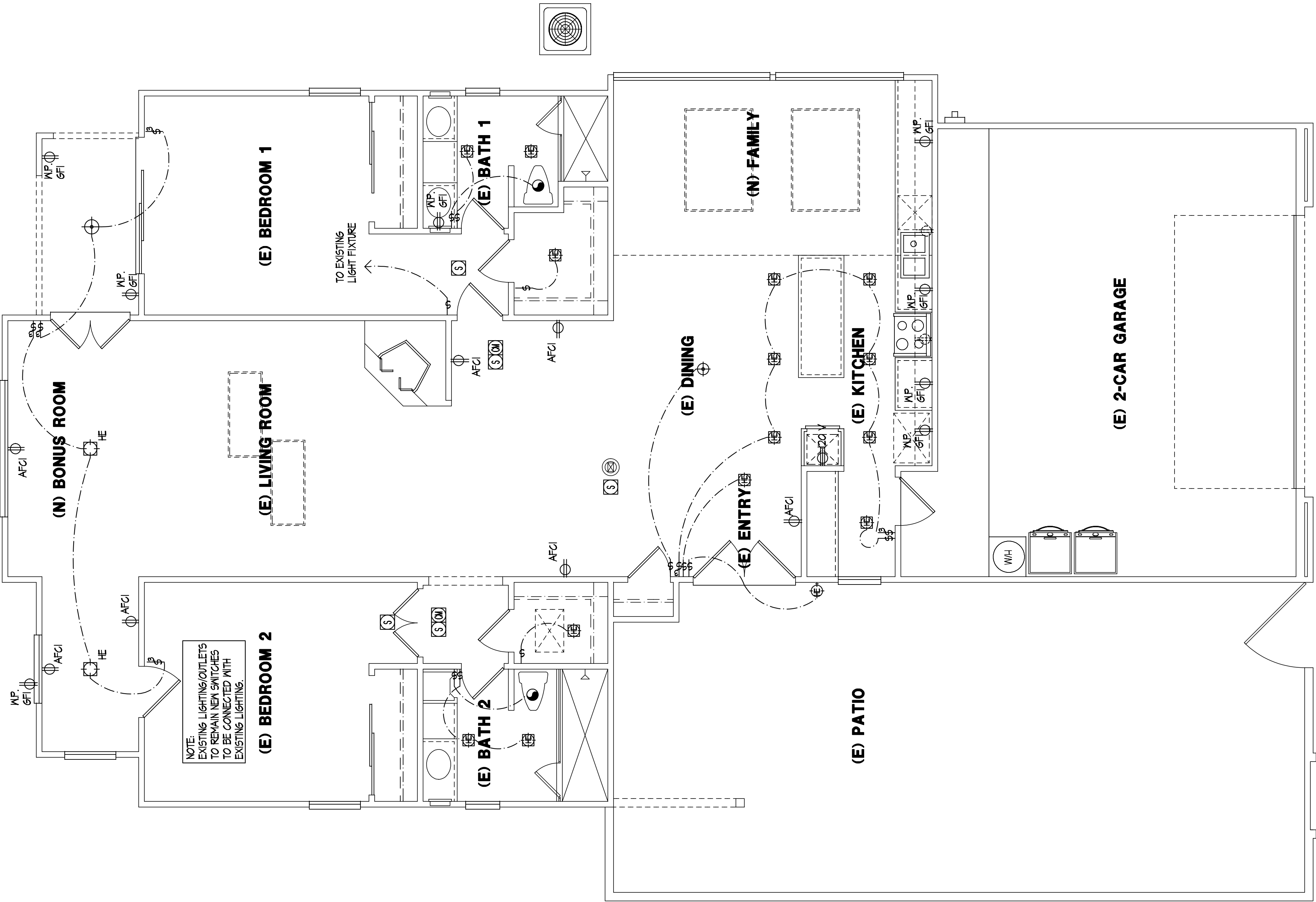
THE WHOLE-BUILDING VENTILATION EXHAUST FAN WILL OPERATE CONTINUOUSLY AND IS REQUIRED TO BE RATED FOR SOUND AT A MAXIMUM OF 1 SONE. THIS EXHAUST FAN CAN BE CONTROLLED BY A STANDARD ON/OFF SWITCH OR BY THE SYSTEM MONITORING CONTROLS. THE SYSTEM MONITORING CONTROLS SHALL BE INSTALLED IN THE KITCHEN. THE WHOLE-BUILDING VENTILATION EXHAUST FAN SHALL BE SIZED ACCORDING TO AGRARE STANDARD 622 TABLE 11. THIS EXHAUST FAN SHALL OPERATE CONTINUOUSLY.

UTILITY SYMBOLS

- 110 VOLT OUTLET AT 12" ABOVE FLOOR UNO
- 110 VOLT OUTLET WITH AFCI FAULT CIRCUIT INTERRUPTER AT 12" ABOVE FLOOR UNO
- 110 VOLT OUTLET, SWITCH CONTROLLED 1/2 HOT
- 110 VOLT OUTLET, WITHIN CABINET
- 220 VOLT OUTLET
- 220 VOLT OUTLET WITH DISCONNECT
- 110 VOLT WATER PROOF OUTLET WITH GFI
- TWO POLE LIGHT SWITCH AT 36" ABOVE FLOOR, 48" ABOVE COUNTER
- 3 WAY LIGHT SWITCH
- VACUANCY SENSOR SWITCH
- TELEPHONE OUTLET
- TELEVISION ANTENNA JACK
- VAPOR PROOF RECESSED HIGH EFFICACY LIGHT FIXTURE
- SURFACE MOUNTED HIGH EFFICACY LIGHT FIXTURE
- PULL MOUNTED HIGH EFFICACY LIGHT FIXTURE
- RECESSED HIGH EFFICACY LIGHT FIXTURE
- RECESSED EXHAUST FAN SWITCH CONTROLLED
- SHOKE DETECTOR, ICSO APPROVED, CEILING MOUNTED UNO.
- CARBON MONOXIDE DETECTOR, ICSO APPROVED, CEILING MOUNTED UNO.
- HANGING FIXTURE

ELECTRICAL NOTES

1. LIGHT FIXTURES IN CLOTHES CLOSET SHALL BE PLACED MINIMUM OF 12" AWAY FROM WALLS & MINIMUM OF 12" AWAY FROM CLOTHES PER CEC ART. 410.8
2. AT BATHROOMS WITH A BATHTUB, SHOWER OR SPA OR SOME SIMILAR SOURCE OF MOISTURE PROVIDE AT LEAST ONE 6" EXHAUST FAN 40-CFM & 3.0 SONES OR APPROVED EQUAL, TO BE DUCTED TO THE EXTERIOR
3. SHOKE DETECTOR PER CEC SEC. 407.2.
 - SHALL BE INSTALLED ON EACH FLOOR IN ACCORDANCE WITH MFR'S LISTING
 - SHALL BE MOUNTED ON THE CEILING OR WALL AT A CENTRAL POINT OR AREA GIVING ACCESS TO ROOMS USED FOR SLEEPING
 - SHALL BE INSTALLED IN CLOSE PROXIMITY TO THE STAIRS GIVING ACCESS TO ROOMS USED FOR SLEEPING
 - SHALL BE HARD WIRED, INSTALLED WITH A BATTERY BACKUP AND SHALL EMIT A SIGNAL WHEN BATTERY IS LOW
 - SHALL SOUND AN ALARM AUDIBLE IN ALL SLEEPING AREAS WITHIN A UNIT
4. CARBON MONOXIDE ALARMS PER CEC SECTION 403.5.
 - SHALL BE INSTALLED OUTSIDE OF EACH SEPARATE DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM(S) AND AT EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENT IN ATTACHED GARAGES
 - SHALL BE INSTALLED IN SLEEPING UNITS AND IN SLEEPING UNITS WITH FUEL-BURNING APPLIANCES OR WITH ATTACHED GARAGES.
 - SHALL BE HARD WIRED, INSTALLED WITH A BATTERY BACKUP.
 - TWO OR MORE ALARMS SHALL BE INTERCONNECTED
5. PROVIDE OUTLET AND LIGHTS IN ATTICS CONTAINING FANS
6. PROVIDE CONVENIENCE OUTLET IN EACH BATHROOM, POWDER AND LAUNDRY WITH IN 3 FT. OF BASIN EDGE PER CEC ART. 210.52(D). SUCH OUTLETS SHALL BE APPROVED GROUND FAULT CIRCUIT PROTECTED (GFI) PER CEC ART. 210.8(A). OUTLETS SHALL BE SUPPLIED BY A MINIMUM OF ONE 20-AMPERE BRANCH CIRCUIT. SUCH CIRCUITS SHALL HAVE NO OTHER OUTLETS. THIS CIRCUIT MAY SERVE MORE THAN ONE BATHROOM PER CEC ART. 210.11(G).
7. ALL KITCHEN 125V/10A SINGLE PHASE IS & 20 AMP RECEPTACLES SERVING COUNTER TOP SURFACE SHALL BE GROUND FAULT CIRCUIT INTERRUPTED (GFI), CEC ART. 210.8(A)(6).
8. PERMANENTLY INSTALLED LUMINAIRES IN KITCHENS SHALL BE HIGH EFFICACY LUMINAIRES AND UP TO 50 PERCENT OF THE TOTAL RATED WATTAGES CAN BE NON HIGH EFFICACY LUMINAIRES CONTROLLED WITH SEPARATE SWITCH PER ENERGY CODE SEC. 150(N).
9. FAMILY ROOMS, DINING ROOM, LIVING ROOMS, PARLORS, LIBRARIES, DEN, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS OR SIMILAR ROOMS OR AREAS IS & 20 AMP OUTLETS SHALL BE AFCI FAULT CIRCUIT INTERRUPTED, COMBINATION TYPE AFCI REQUIRED PER CEC ART. 210.12(B)
10. ALL EXHAUST FANS MUST BE SPECIFIED AT A NOISE RATING OF A MAXIMUM 1 "SONE" (FOR CONTINUOUS USE CALCULATION) OR 3 "SONE" (FOR INTERMITTENT USE CALCULATION)
11. PROVIDE HUMIDISTAT AT ALL FANS LOCATED IN ALL BATHROOMS WITH A BATHTUB, SHOWER OR TUB SHOWER COMBINATION.



PROPOSE UTILITY PLAN
REPLACES

MR. & MRS. REZA KARIMI
5037 AVENIDA DEL SOL
LAGUNA WOODS, CA 92637

SIGNATURE:

ROOM ADDITION
(N) BONUS ROOM
A5

MR. & MRS. REZA KARIMI
5037 AVENIDA DEL SOL
LAGUNA WOODS, CA 9263

ROOF NOTES

1. ROOF SLOPES: TO MATCH EXISTING PITCH
2. ROOF MATERIAL: TO MATCH EXISTING. —
ROOF COVERING: MFR.: MONIER LIFETIME 1200 #2566 OR APPROVED
EQUAL. ROOF MATERIAL SHALL BE CLASS A FIRE RETARDANT,
OR APPROVED EQUAL
3. ALL EAVES AND RAKES SHALL BE 12" OR UNO.
4. PROVIDE 6" VALLEY FLASHING AT ALL ROOF VALLEYS
5. PROVIDE SADDLE AND FLASHING AT GUTTER CHASE, TYPICAL
6. LINE OF STRUCTURE
7. SKYLIGHT BY OTHERS

ATTIC VENT CALCULATIONS

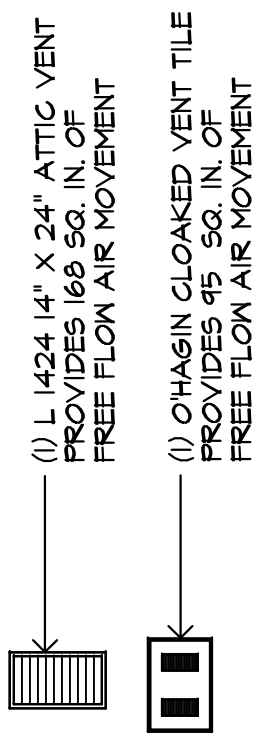
THE ATTIC VENTILATING CALCULATIONS PER C.B.C. SECTION 1203.2 AS FOLLOWS.

- ATTIC AREA (SQUARE FEET).
- VENT (A) BY BO #300 IF VAPOR RETARDER IS PROVIDED TO CALCULATE THE TOTAL REQUIRED NET FREE VENTILATING AREA IN SQUARE INCHES.
- TOTAL SQUARE INCHES OF NET FREE VENTILATING AREA PROVIDED BY ROOF VENTILATORS.
- TOTAL SQUARE INCHES OF NET FREE VENTILATING AREA PROVIDED BY ROOF VENTILATORS.
- TOTAL SQUARE INCHES OF NET FREE VENTILATING AREA PROVIDED BY UNDER EAVE VENTS BLOCKING.

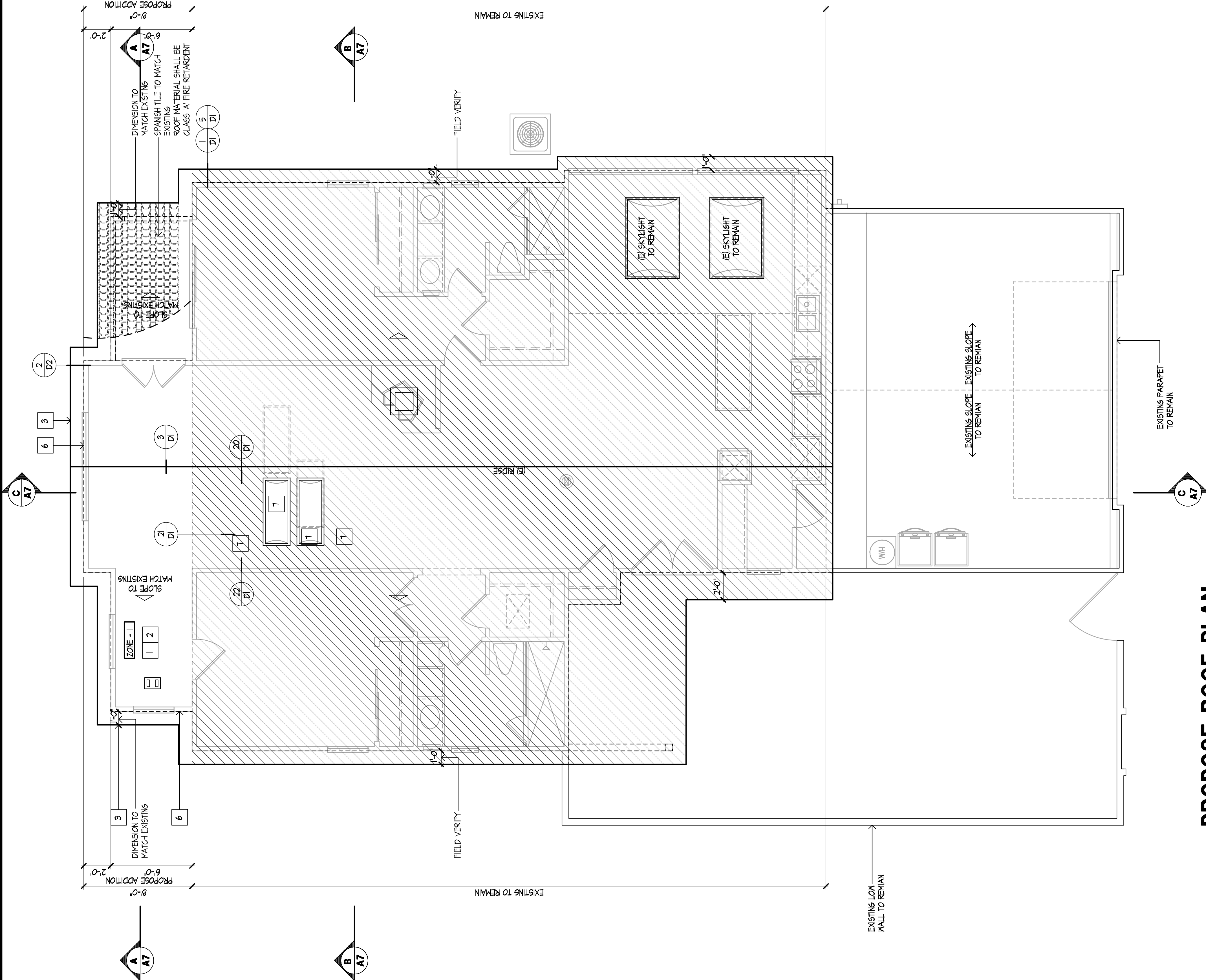
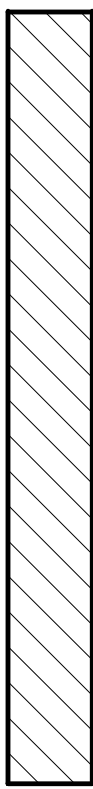
PLAN	A	B	C	D	E
	ATTIC AREA	REQUIRED VENTING	SABLE END VENTS	ROOF VENTS	EAVE VENTS
ZONE-1	420 FT ²	4032 IN ²	336 IN ²	HIGH IN ² 45	0 IN ²
ZONE-2		FT ²	IN ²	HIGH IN ² LOIN	IN ²
ZONE-3		FT ²	IN ²	HIGH IN ² LOIN	IN ²

NOTES:
ALL VENT OPENINGS SHALL BE COVERED W/ 1/4" CORROSIVE RESISTANT METAL.
FRAMER SHALL BE RESPONSIBLE FOR COORDINATING W/ TRUSS MFR TO ACCOMMODATE ALL ATTIC VENTS
ALL VENTS SHALL BE INSTALLED SO AS TO MAKE THEM WATER-PROOF AND WALL MOUNTED. LOVERS SHALL BE SEALED AND FLASHED WITH "MOISTOP" IN THE SAME MANNER PRESCRIBED FOR WINDOW INSTALLATION.
PROVIDE APPROVED INSULATION DADS (BAFFLES) WHERE VENT BLOCKS ARE USED BETWEEN ROOF FRAMING MEMBERS TO PREVENT VENT HOLES BEING BLOCKED BY INSULATION.

ATTIC VENTS



EXISTING ROOF TO REMAIN:



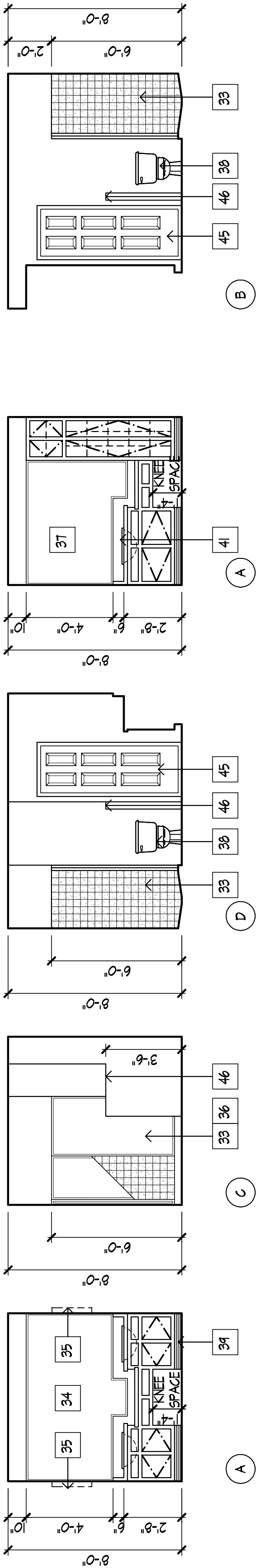
E DESIGN
EDGAR ESPARZA

SECTION NOTES

1. ROOF MATERIAL (REFER TO ROOF NOTES)
2. ROOF SHEATHING (REFER TO FRAMING PLAN)
3. 2 X ROOF RAFTERS (REFER TO FRAMING PLAN)
4. FALSE 2X FRAMING AT 24" O.C.
5. EXTERIOR FINISH (REFER TO ELEVATION NOTES)
6. EXTERIOR SOFFIT (REFER TO ELEVATION NOTES)
7. 2 X CEILING JOISTS (REFER TO FRAMING PLAN)
8. INSULATION (REFER TO ENERGY COMPLIANCE SHEET)
9. FLUSH BEAM (REFER TO FRAMING PLAN)
10. DROP BEAM (REFER TO FRAMING PLAN)
11. HEADER (REFER TO FRAMING PLAN)
12. 2 X 4 FRAMING
13. CONTINUOUS DOUBLE 2X TOP PLATE
14. 2 X STUDS AT 16" O.C.
15. 2 X BLOCK AT MID-HEIGHT
16. 2 X CRIPPLE STUD AT 16" O.C.
17. 2 X P.T.D.F. SILL PLATE
18. 1/2" GYPSUM BOARD (REFER TO STRUCTURAL FOUNDATION PLAN)
20. 5/8" TYPE 'X' INTERIOR GARAGE FINISH
21. 5/8" GYPSUM BOARD AT MEMBERS SPACED GREATER THAN 24" O.C.
22. SHELF (REFER TO FLOOR PLAN FOR HEIGHT)
23. SOFFIT (REFER TO FLOOR PLAN FOR HEIGHT)
24. 2 X SOLE PLATE

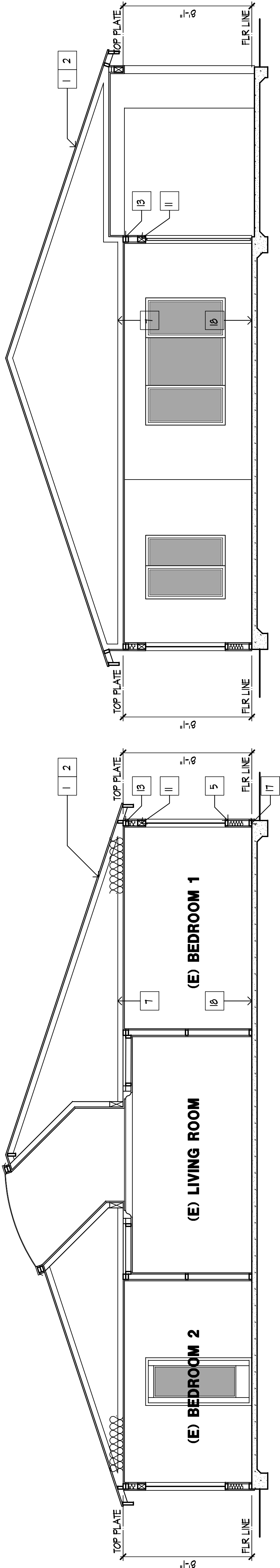
INTERIOR NOTES

25. DOUBLE SINK WITH GARBAGE DISPOSAL
26. BUILT-IN DISHWASHER WITH AIR GAP
27. SLIDE-IN COOK-TOP WITH EXHAUST HOOD AND MICROWAVE ABOVE AND SLIDE-IN CONVENTIONAL OVEN BELOW (VENT TO OUTSIDE AIR VERIFY DIMENSIONS WITH MANUFACTURER'S SPEC'S) (MAINTAIN 30" CLEAR ABOVE RANGE OR COOKTOP TO UNPROTECTED NONCOMBUSTIBLES OR 24" CLEAR TO METAL VENTILATING HOOD)
28. PROVIDE 3/4" REFRIGERATOR SPACE AND PLUMBING RECESSED IN WALL FOR ICE MAKERS
29. PANTRY WITH ADJUSTABLE SHELVES
30. BUILT-IN TRASH COMPACTOR
31. KITCHEN ISLAND
32. 32" X 60" TUB WITH SHOWER
33. WALK-IN SHOWER
34. MIRROR
35. RECESSED MEDICINE CABINET
36. TEMPERED SHOWER ENCLOSURE
37. MIRROR
38. WATER CLOZET
39. 4" TOESPACE
40. GRANITE COUNTERTOP AND SPLASH
41. LAVATORY SINK
42. MAINSCOT TO 72"
43. UPPER CABINET
44. WINDOW
45. DOOR
46. 42" LONG WALL



BATH 1

BATH 2

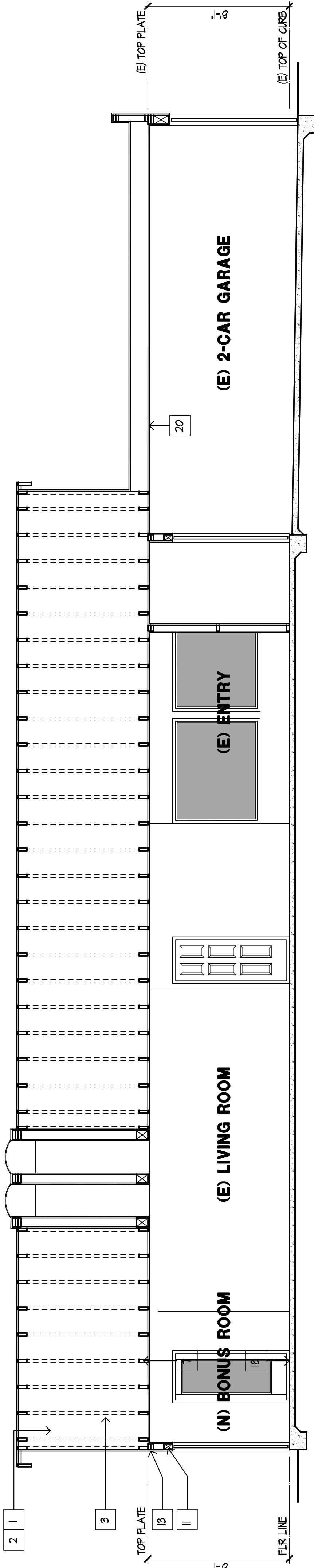


SECTION B

SCALE: 1/4"=1'-0"

SECTION A

SCALE: 1/4"=1'-0"



SECTION C

SCALE: 1/4"=1'-0"

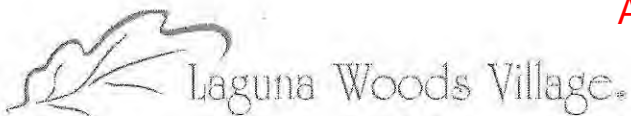
1. 7/8" STUCCO (REFER TO GENERAL NOTES)
2. CONTINUOUS G.I. STUCCO SKEED (REFER TO DETAIL)
3. EXISTING APPROVED SPARK ARRESTER BY FIREPLACE MFR.
4. G.I. SADDLE AND FLASHING
5. G.I. CHIMNEY CAP BY FIREPLACE MFR.
6. G.I. FLASHING
7. ROOF MATERIAL TO MATCH EXISTING
8. ATTIC VENT (REFER TO ATTIC VENT CALLS)
9. REIS' PASCIA OR TRIM BOARD. SEE ELEVATIONS FOR SIZE
10. STUCCO OVER 2X TRIM
11. BRICK TO MATCH EXISTING COLOR/STYLE
12. WOOD SHUTTERS (NON ACTIVE)
13. 14"x24" ATTIC VENT
14. SKYLIGHT BY OTHERS INSTALL PER MANUFACTURE SPECS.
15. EXISTING WINDOW TO REMAIN
16. EXISTING SECTIONAL GARAGE DOOR

SCALE: 1/4" = 1'-0"

SCA	E: 1/4" = 1'-0"
-----	-----------------

SCALE: 1/4" = 1'-0"

D1		MR. & MRS. REZA KARIMI		5037 AVENIDA DEL SOL LAGUNA WOODS, CA 92637	
E DESIGN EDGAR ESPARZA		SIGNATURE: 			
FLASHING AT SKYLIGHT		HEAD SLIDING DOOR		ROOF EAVE	
FLASHING AT SKYLIGHT		HEAD SLIDING DOOR		ROOF EAVE	
FLASHING AT SKYLIGHT		HEAD SLIDING DOOR		ROOF EAVE	
FLASHING AT SKYLIGHT		HEAD SLIDING DOOR		ROOF EAVE	
FLASHING AT SKYLIGHT		HEAD SLIDING DOOR		ROOF EAVE	
FLASHING AT SKYLIGHT		HEAD SLIDING DOOR		ROOF EAVE	
FLASHING AT SKYLIGHT		HEAD SLIDING DOOR		ROOF EAVE	
FLASHING AT SKYLIGHT		HEAD SLIDING DOOR		ROOF EAVE	
FLASHING AT SKYLIGHT		HEAD SLIDING DOOR		ROOF EAVE	
FLASHING AT SKYLIGHT		HEAD SLIDING DOOR		ROOF EAVE	
FLASHING AT SKYLIGHT		HEAD SLIDING DOOR		ROOF EAVE	
FLASHING AT SKYLIGHT		HEAD SLIDING DOOR		ROOF EAVE	
FLASHING AT SKYLIGHT		HEAD SLIDING DOOR		ROOF EAVE	
FLASHING AT SKYLIGHT		HEAD SLIDING DOOR		ROOF EAVE	
FLASHING AT SKYLIGHT		HEAD SLIDING DOOR		ROOF EAVE	
FLASHING AT SKYLIGHT		HEAD SLIDING DOOR		ROOF EAVE	
FLASHING AT SKYLIGHT		HEAD SLIDING DOOR		ROOF EAVE	
FLASHING AT SKYLIGHT		HEAD SLIDING DOOR		ROOF EAVE	
FLASHING AT SKYLIGHT		HEAD SLIDING DOOR		ROOF EAVE	
FLASHING AT SKYLIGHT		HEAD SLIDING DOOR		ROOF EAVE	
FLASHING AT SKYLIGHT		HEAD SLIDING DOOR		ROOF EAVE	
FLASHING AT SKYLIGHT		HEAD SLIDING DOOR		ROOF EAVE	
FLASHING AT SKYLIGHT		HEAD SLIDING DOOR		ROOF EAVE	
FLASHING AT SKYLIGHT		HEAD SLIDING DOOR		ROOF EAVE	
FLASHING AT SKYLIGHT		HEAD SLIDING DOOR		ROOF EAVE	
FLASHING AT SKYLIGHT		HEAD SLIDING DOOR		ROOF EAVE	
FLASHING AT SKYLIGHT		HEAD SLIDING DOOR		ROOF EAVE	
FLASHING AT SKYLIGHT		HEAD SLIDING DOOR		ROOF EAVE	
FLASHING AT SKYLIGHT		HEAD SLIDING DOOR		ROOF EAVE	
FLASHING AT SKYLIGHT		HEAD SLIDING DOOR		ROOF EAVE	
FLASHING AT SKYLIGHT		HEAD SLIDING DOOR		ROOF EAVE	
FLASHING AT SKYLIGHT		HEAD SLIDING DOOR		ROOF EAVE	
FLASHING AT SKYLIGHT		HEAD SLIDING DOOR		ROOF EAVE	
FLASHING AT SKYLIGHT		HEAD SLIDING DOOR		ROOF EAVE	
FLASHING AT SKYLIGHT		HEAD SLIDING DOOR		ROOF EAVE	
FLASHING AT SKYLIGHT		HEAD SLIDING DOOR		ROOF EAVE	
FLASHING AT SKYLIGHT		HEAD SLIDING DOOR		ROOF EAVE	
FLASHING AT SKYLIGHT		HEAD SLIDING DOOR		ROOF EAVE	
FLASHING AT SKYLIGHT		HEAD SLIDING DOOR		ROOF EAVE	
FLASHING AT SKYLIGHT		HEAD SLIDING DOOR		ROOF EAVE	
FLASHING AT SKYLIGHT		HEAD SLIDING DOOR		ROOF EAVE	
FLASHING AT SKYLIGHT		HEAD SLIDING DOOR		ROOF EAVE	
FLASHING AT SKYLIGHT		HEAD SLIDING DOOR		ROOF EAVE	
FLASHING AT SKYLIGHT		HEAD SLIDING DOOR		ROOF EAVE	
FLASHING AT SKYLIGHT		HEAD SLIDING DOOR		ROOF EAVE	
FLASHING AT SKYLIGHT		HEAD SLIDING DOOR		ROOF EAVE	
FLASHING AT SKYLIGHT		HEAD SLIDING DOOR		ROOF EAVE	
FLASHING AT SKYLIGHT		HEAD SLIDING DOOR		ROOF EAVE	
FLASHING AT SKYLIGHT		HEAD SLIDING DOOR		ROOF EAVE	
FLASHING AT SKYLIGHT		HEAD SLIDING DOOR		ROOF EAVE	
FLASHING AT SKYLIGHT		HEAD SLIDING DOOR		ROOF EAVE	
FLASHING AT SKYLIGHT		HEAD SLIDING DOOR		ROOF EAVE	
FLASHING AT SKYLIGHT		HEAD SLIDING DOOR		ROOF EAVE	
FLASHING AT SKYLIGHT		HEAD SLIDING DOOR		ROOF EAVE	
FLASHING AT SKYLIGHT		HEAD SLIDING DOOR		ROOF EAVE	
FLASHING AT SKYLIGHT		HEAD SLIDING DOOR		ROOF EAVE	
FLASHING AT SKYLIGHT		HEAD SLIDING DOOR		ROOF EAVE	
FLASHING AT SKYLIGHT		HEAD SLIDING DOOR		ROOF EAVE	
FLASHING AT SKYLIGHT		HEAD SLIDING DOOR		ROOF EAVE	
FLASHING AT SKYLIGHT		HEAD SLIDING DOOR		ROOF EAVE	
FLASHING AT SKYLIGHT		HEAD SLIDING DOOR		ROOF EAVE	
FLASHING AT SKYLIGHT		HEAD SLIDING DOOR		ROOF EAVE	
FLASHING AT SKYLIGHT		HEAD SLIDING DOOR		ROOF EAVE	
FLASHING AT SKYLIGHT		HEAD SLIDING DOOR		ROOF EAVE	
FLASHING AT SKYLIGHT		HEAD SLIDING DOOR		ROOF EAVE	
FLASHING AT SKYLIGHT		HEAD SLIDING DOOR		ROOF EAVE	
FLASHING AT SKYLIGHT		HEAD SLIDING DOOR		ROOF EAVE	
FLASHING AT SKYLIGHT		HEAD SLIDING DOOR		ROOF EAVE	
FLASHING AT SKYLIGHT		HEAD SLIDING DOOR		ROOF EAVE	
FLASHING AT SKYLIGHT		HEAD SLIDING DOOR		ROOF EAVE	
FLASHING AT SKYLIGHT		HEAD SLIDING DOOR		ROOF EAVE	
FLASHING AT SKYLIGHT		HEAD SLIDING DOOR		ROOF EAVE	
FLASHING AT SKYLIGHT		HEAD SLIDING DOOR		ROOF EAVE	
FLASHING AT SKYLIGHT		HEAD SLIDING DOOR		ROOF EAVE	
FLASHING AT SKYLIGHT		HEAD SLIDING DOOR		ROOF EAVE	
FLASHING AT SKYLIGHT		HEAD SLIDING DOOR		ROOF EAVE	
FLASHING AT SKYLIGHT		HEAD SLIDING DOOR		ROOF EAVE	
FLASHING AT SKYLIGHT		HEAD SLIDING DOOR		ROOF EAVE	
FLASHING AT SKYLIGHT		HEAD SLIDING DOOR		ROOF EAVE	
FLASHING AT SKYLIGHT		HEAD SLIDING DOOR		ROOF EAVE	
FLASHING AT SKYLIGHT		HEAD SLIDING DOOR		ROOF EAVE	
FLASHING AT SKYLIGHT		HEAD SLIDING DOOR		ROOF EAVE	
FLASHING AT SKYLIGHT		HEAD SLIDING DOOR		ROOF EAVE	
FLASHING AT SKYLIGHT		HEAD SLIDING DOOR		ROOF EAVE	
FLASHING AT SKYLIGHT		HEAD SLIDING DOOR		ROOF EAVE	
FLASHING AT SKYLIGHT		HEAD SLIDING DOOR		ROOF EAVE	
FLASHING AT SKYLIGHT		HEAD SLIDING DOOR		ROOF EAVE	
FLASHING AT SKYLIGHT		HEAD SLIDING DOOR		ROOF EAVE	
FLASHING AT SKYLIGHT		HEAD SLIDING DOOR		ROOF EAVE	
FLASHING AT SKYLIGHT		HEAD SLIDING DOOR		ROOF EAVE	
FLASHING AT SKYLIGHT		HEAD SLIDING DOOR		ROOF EAVE	
FLASHING AT SKYLIGHT		HEAD SLIDING DOOR		ROOF EAVE	
FLASHING AT SKYLIGHT		HEAD SLIDING DOOR		ROOF EAVE	
FLASHING AT SKYLIGHT		HEAD SLIDING DOOR		ROOF EAVE	
FLASHING AT SKYLIGHT		HEAD SLIDING DOOR		ROOF EAVE	
FLASHING AT SKYLIGHT		HEAD SLIDING DOOR		ROOF EAVE	
FLASHING AT SKYLIGHT		HEAD SLIDING DOOR		ROOF EAVE	
FLASHING AT SKYLIGHT		HEAD SLIDING DOOR		ROOF EAVE	
FLASHING AT SKYLIGHT		HEAD SLIDING DOOR		ROOF EAVE	
FLASHING AT SKYLIGHT		HEAD SLIDING DOOR		ROOF EAVE	
FLASHING AT SKYLIGHT		HEAD SLIDING DOOR		ROOF EAVE	
FLASHING AT SKYLIGHT		HEAD SLIDING DO			

MANOR # 5037☐ ULWM☒ TLHM

Variance Request Form

SA

Model: <u>VILLA REPOSA</u>	Plan: <u>C11</u>	Date: <u>12/28/17</u>
Member Name: <u>REZA KARIMI</u>	Signature <u>R.K.</u>	
Phone:	Email: [REDACTED]	
Contractor Name/Co: <u>ONE WAY CONSTRUCTION (DIEGO)</u>	Phone: [REDACTED]	Email: [REDACTED]

Description of Proposed Variance Request ONLY:

ROOM ADDITION ON EXISTING REAR PATIO.

Dimensions of Proposed Variance Alterations ONLY:

187 # (APPROX 30'-0" x 6'-0")

FOR OFFICE USE ONLY

RECEIVED BY: [Signature] DATE RECEIVED: 12/28/17 Check# 1590 BY: RW

Alteration Variance Request

Complete Submittal Cut Off Date:

Check Items Received:

- ☒ Drawing of Existing Floor Plan
☒ Drawing of Proposed Variance
☒ Dimensions of Proposed Variance
☒ Before and After Drawings

☐ Other: _____

Meetings Scheduled:

Third AC&S Committee (TACSC): TBD

United M&C Committee: _____

Board Meeting: TBD☐ Denied☐ Approved☐ Tabled☐ Other

Agenda Item # 12 Page 23 of 27

Attachment: 3





Roofline

Existing



Proposed



Attachment: 4





Section 5A - Satellite Dishes: 1 Story Buildings

ADOPTED NOVEMBER 2006, RESOLUTION 03-06-57
REVISED APRIL 2007, RESOLUTION 03-07-31
GENERAL REQUIREMENTS REVISED APRIL 2011, RESOLUTION 03-11-49
REVISED NOVEMBER 2013, RESOLUTION 03-13-119
REVISED MARCH 2018, RESOLUTION 03-18-XX

1.0 GENERAL GUIDELINES

**FOR GENERAL REQUIREMENTS SEE SECTION 1 GENERAL REQUIREMENTS
FOR ALTERATION STANDARDS**

- 1.1 PERMITS AND FEES:** ~~A Mutual permit is required for all alterations to the building. A City of Laguna Woods permit may be required. All fees for both Mutual and City permits shall be paid for by the Member and/or his or her contractor. Member and/or his or her contractor must provide the Permits and Inspections office with City permit number(s) prior to beginning work.~~
- 1.2 MEMBERS' RESPONSIBILITY:** ~~The Member is solely responsible for the maintenance, repair, and/or removal of all alterations to the building.~~
- 1.3 CODES AND REGULATIONS:** ~~All work shall comply with all applicable local, state, and federal requirements, including, but not limited to, the current edition of the National Electric Code (NEC).~~
- 1.4 WORK HOURS:** ~~No work shall commence prior to 7:00a.m. and no work shall be permitted after 6:00p.m. Monday through Friday. Work on Saturday shall be permitted from 9:00a.m. — 2:00p.m. for work which results in construction-related noise (e.g. cutting tile, hammering, use of power tools). For work that does not result in excessive noise, such as painting and carpet installation, permitted~~

~~hours are 7:00a.m. — 6:00p.m. No work whatsoever shall be permitted on Sunday.~~

- ~~1.5 **PLANS:** The Member applying for a permit shall provide to the Permits and Inspections office a detailed plan(s) for approval indicating all work to be done, i.e., size, location, description and specifications.~~
- ~~1.6 **DUMPSITES:** The premises shall be kept free of accumulation of waste materials and/or rubbish caused by construction work. The Member and/or his or her contractor is responsible for removal of debris and excess material and must leave work areas "BROOM CLEAN" daily. **USE OF COMMUNITY DUMPSITES FOR CONSTRUCTION RELATED DUMPING IS NOT PERMITTED.** Contractor's or Member's dumpsters, if required, must have location approved by the Permits and Inspections office.~~
- ~~1.7 **CONTRACTOR:** Installation must be performed by a California licensed contractor of the appropriate trade.~~
- ~~1.8 **CONTRACTOR'S CONDUCT:** Member's contractor's, their personnel, and sub-contractors shall refrain at all times from using profanity, abusive or loud language, and must wear shirts at all times. Radio, MP3, CD or cassette players are not permitted on the project site. Contractor personnel will, at all times, extend and exhibit a courteous demeanor to residents.~~

2.0 GENERAL GUIDELINES

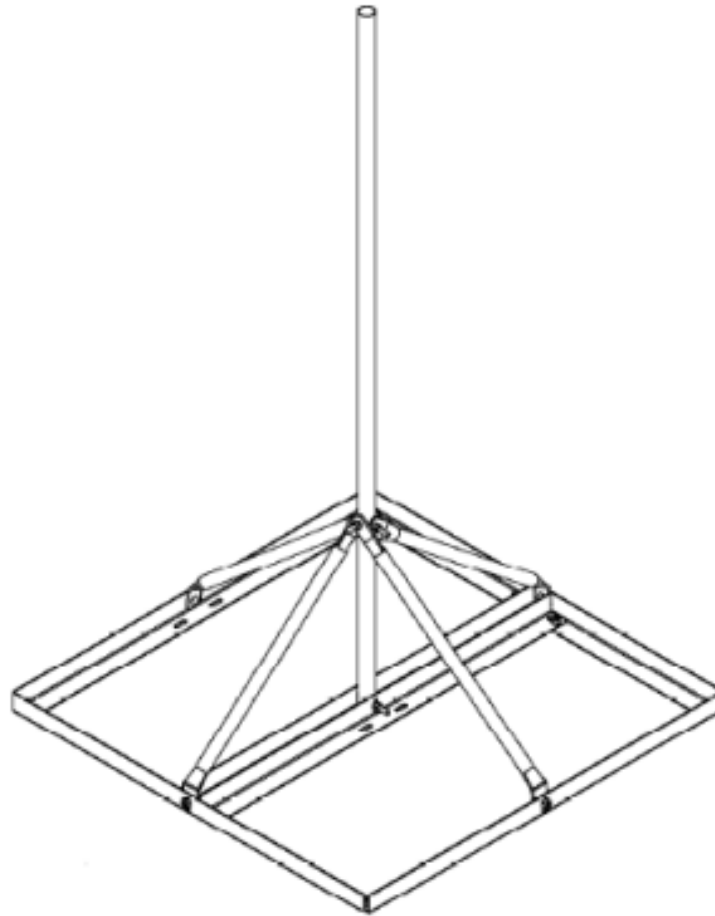
- 2.1** Any installation permitted in Mutual Common Area at one story buildings must follow all guidelines set forth by the following Mutual Alteration Standard.
- 2.2** Prior to installation of any satellite dish, a plan and the specifications of all proposed work and equipment must be submitted for approval as specified in Section 1.5. The submitted plan must indicate all work to be done, i.e., type of dish, size, a full description, it's location on the building, anchoring, and method of sealing wall(s) and attachments. Site location will be contingent upon Mutual approval.
- 2.3** The Mutual Member assumes all responsibility for any damage including, but not limited to, roof or wall damage, or damage from moisture intrusion resulting from improper installation of the satellite dish.

- 2.4 No satellite dish will be permitted which may become hazardous to other residents or workmen due to its location or dimensions.
- 2.5 Any satellite dish must be made easily removable as required for performance of maintenance. In the event a satellite dish must be removed it shall be the Mutual Member's responsibility to remove and properly store the dish until such time that maintenance work has been completed. The cost of removal, storage and re-installation shall be borne by the Mutual Member.
- 2.6 Any satellite dish installation must follow all guidelines set forth by the Federal Communications Commission's Over-the-Air-Reception-Devices rule (OTARD).
- 2.7 Any installation violating these guidelines is subject to immediate removal at the sole cost of the Mutual Member, and the restoration of any Mutual property, at the Member's expense.
- 2.8 Should the proposed location of a satellite dish be in an area that is technically Common Area, e.g., the roof, then the applicant is required to execute and submit to Third Laguna Hills Mutual, prior to installation of a dish, the "Agreement Regarding Satellite Dish Installation on Common Area Property" ~~or similarly titled document~~.
- 2.9 Should the proposed location of a satellite dish be in a location that is currently occupied by a functional solar panel, an alternate location will be designated by the Alteration Department.

3.0 INSTALLATION GUIDELINES

- 3.1 Satellite dish installation is permitted on Exclusive Use Common Area, i.e., patio, patio, atrium or courtyard. The dish must stay within the footprint of patio, such areas.
- 3.2 Satellite dish installation is permitted on building fascias ~~of detached manors only~~. The ~~resident Member~~ shall ~~make all efforts coordinate with and receive approval of from the Alterations Department for all satellite dish locations. All to install a~~ satellite dish ~~installations shall that will~~ not be visible from neighboring street(s). Satellite dishes must be installed no less than twenty (20) feet from the corner of the building closest to the street, and cannot be attached on a side of the building that faces the street.

- 3.3 For satellite dish installations on building fascias of detached manors, the mounting bracket ~~and its perimeter bolt pattern shall be clamp style and~~ must fully fit onto the fascia, with no overhang.
- 3.4 Satellite dish installation is permitted on **flat roofs** when the location does not interfere with the overall visual continuity of the manor and/or surrounding area. No satellite dish or any portion of a satellite dish and its related Members shall be attached to any built-up roofing on a flat roof. See 2.2 for installation criteria.
- 3.5 To install a dish on a **flat roof**, mount the satellite dish on a non-penetrating satellite dish roof-mount weighted down by a minimum of four 8" x 8" x 16" ~~cinder blocks~~ concrete blocks (see Example 1 below).
- 3.6 For installation of a satellite dish onto a **flat PVC cool roof**, the member must install a 3' X 3' satellite dish pad provided by the Mutual's roofing contractor at the expense of the Member.
- 3.7 Only one (1) satellite dish per manor is allowed.
- 3.8 Any satellite dish installed on Common Area shall not exceed a diameter of 36".
- 3.9 No coaxial cable shall be larger than ½" in diameter.
- 3.10 Fasteners shall be properly sealed to prevent moisture intrusion. Sealants shall be specifically manufactured for the application for which it is used.
- 3.11 Drilling through a roof is prohibited.
- 3.12 Mounting a satellite dish on a chimney is prohibited.
- 3.13 Utilization of any GRF Broadband installation and/or equipment is prohibited.
- 3.14 Mounting of a satellite dish to PVC, ABS, or plumbing vent pipes is prohibited.
- 3.15 No modifications to any fascia, rain gutter or plumbing vent shall be permitted. A satellite dish installation shall not obstruct a rain gutter or plumbing vent in any way.
- ~~3.16 It is recommended that satellite dishes and installation materials be grounded in accordance with the National Electric Code.~~



Example 1: Non-Penetrating Satellite Dish Roof Mount



Section 5B - Satellite Dishes: 2 Story Buildings

ADOPTED NOVEMBER 2006, RESOLUTION 03-06-58

REVISED APRIL 2007, RESOLUTION 03-07-32

GENERAL REQUIREMENTS REVISED APRIL 2011, RESOLUTION 03-11-49

REVISED NOVEMBER 2013, RESOLUTION 03-13-120

REVISED MARCH 2018, RESOLUTION 03-18-XX

1.0 **GENERAL REQUIREMENTS**

**FOR GENERAL REQUIREMENTS SEE SECTION 1 GENERAL REQUIREMENTS
FOR ALTERATION STANDARDS**

- 1.1 PERMITS AND FEES:** ~~A Mutual permit is required for all alterations to the building. A City of Laguna Woods permit may be required. All fees for both Mutual and City permits shall be paid for by the Member and/or his or her contractor. Member and/or his or her contractor must provide the Permits and Inspections office with City permit number(s) prior to beginning work.~~
- 1.2 MEMBERS' RESPONSIBILITY:** ~~The Member is solely responsible for the maintenance, repair, and/or removal of all alterations to the building.~~
- 1.3 CODES AND REGULATIONS:** ~~All work shall comply with all applicable local, state, and federal requirements including, but not limited to, the current edition of the National Electric Code (NEC).~~
- 1.4 WORK HOURS:** ~~No work shall commence prior to 7:00a.m. and no work shall be permitted after 6:00p.m. Monday through Friday. Work on Saturday shall be permitted from 9:00a.m. — 2:00p.m. for work which results in construction-related noise (e.g. cutting tile, hammering, use of power tools). For work that does not result in excessive noise, such as painting and carpet installation, permitted hours are 7:00a.m. — 6:00p.m. No work whatsoever shall be permitted on Sunday.~~

- ~~1.5 **PLANS:** The Member applying for a permit shall provide to the Permits and Inspections office a detailed plan(s) for approval indicating all work to be done, i.e., size, location, description and specifications.~~
- ~~1.6 **DUMPSITES:** The premises shall be kept free of accumulation of waste materials and/or rubbish caused by construction work. The Member and/or his or her contractor is responsible for removal of debris and excess material and must leave work areas "**BROOM CLEAN**" daily. **USE OF COMMUNITY DUMPSITES FOR CONSTRUCTION RELATED DUMPING IS NOT PERMITTED.** Contractor's or Member's dumpsters, if required, must have location approved by the Permits and Inspections office.~~
- ~~1.7 **CONTRACTOR:** Installation must be performed by a California licensed contractor of the appropriate trade.~~
- ~~1.8 **CONTRACTOR'S CONDUCT:** Member's contractor's, their personnel, and sub-contractors shall refrain at all times from using profanity, abusive or loud language, and must wear shirts at all times. Radio, MP3, CD or cassette players are not permitted on the project site. Contractor personnel will, at all times, extend and exhibit a courteous demeanor to residents.~~

2.0 **GENERAL GUIDELINES**

- 2.1 Any installation permitted in Mutual Common Area at two story buildings must follow all guidelines set forth by the following Mutual Alteration Standard.
- 2.2 Prior to installation of any satellite dish, a plan and the specifications of all proposed work and equipment must be submitted for approval as specified in Section 1.5. The submitted plan must indicate all work to be done, i.e., type of dish, size, a full description, it's location on the building, anchoring, and method of sealing wall(s) and attachments. Site location will be contingent upon Mutual approval.
- 2.3 The Mutual Member assumes all responsibility for any damage including, but not limited to, roof or wall damage, or damage from moisture intrusion resulting from improper installation of the satellite dish.
- 2.4 No satellite dish ~~will~~ shall be permitted which may become hazardous to other residents or workmen due to its location or dimensions.
- 2.5 Any satellite dish must be made easily removable as required for performance of maintenance. In the event a satellite dish must be removed it shall be the Mutual Member's responsibility to remove

and properly store the dish until such time that maintenance work has been completed. The cost of removal, storage and re-installation shall be borne by the Mutual Member.

- 2.6 Any satellite dish installation must follow all guidelines set forth by the Federal Communications Commission's Over-the-Air-Reception- Devices rule (OTARD).
- 2.7 Any installation violating these guidelines is subject to immediate removal at the sole cost of the Mutual Member, and restoration of any Mutual property, at the Member's expense.
- 2.8 Should the proposed location of a satellite dish be in an area that is technically Common Area, e.g., the roof, then the applicant is required to execute and submit to Third Laguna Hills Mutual, prior to installation of a dish, the "Agreement Regarding Satellite Dish Installation on Common Area Property" ~~or similarly titled document.~~
- 2.9 Should the proposed location of a satellite dish be in a location that is currently occupied by a functional solar panel, an alternate location will be designated by the Alteration Department.

3.0 **INSTALLATION GUIDELINES**

- 3.1 Satellite dish installation is permitted on Exclusive Use Common Area, e.g. patios or balconies. Dish must stay within footprint of ~~patio or perimeter of balcony railings~~ such areas.
- 3.2 Only one (1) satellite dish per manor is allowed.
- 3.3 Any satellite dish installed on Common Area shall not exceed a diameter of 36", with the exception of manor types listed in paragraph 3.16 herein.
- 3.4 No coaxial cable shall be larger than ½" diameter.
- 3.5 Unless otherwise specified, coaxial cable shall be encased in ½", 26 gauge steel ~~wire mold~~ wire mold -fastened to the surface of the wall with ½" - mounting clips and anchors, specified for stucco, attached every four feet. ~~Wire mold~~ Wire mold -shall be painted to match the surface to which it is attached **prior to installation**. Fasteners shall be properly sealed to prevent moisture intrusion. Sealants shall be specifically manufactured for the application for which it is used.
- 3.6 Drilling through a roof is prohibited.
- 3.7 Utilization of any GRF Broadband installation and/or equipment is prohibited.

- 3.8 Mounting of a satellite dish to PVC, ABS, plumbing vent pipes is prohibited.
- 3.9 No satellite dish or any portion of a satellite dish and its related ~~members~~Members shall be attached to any built-up roofing on a flat roof.
- 3.10 Mounting a satellite dish on a chimney is prohibited.
- 3.11 No modifications to any fascia, rain gutter or plumbing vent shall be permitted. A satellite dish installation shall not obstruct a rain gutter or plumbing vent in any way.
- 3.12 It is recommended that satellite dishes and installation materials be grounded in accordance with the National Electric Code.
- 3.13 **Buildings with flat roof and mansard roof**

- (a) Place the satellite dish approximately 15 feet from the edge of the flat roof above the manor for which the service is being provided. At no time can the dish be mounted on the side of the building or to existing fascias.
- (b) For installation of a satellite dish onto a **flat PVC cool roof**, the member must install a 3' X 3' satellite dish pad provided by the Mutual's roofing contractor at the expense of the Member.
- (c) Mount the satellite dish on a non-penetrating satellite dish roof-mount weighted down by a minimum of four, 8" x 8" x 16" cinderblocks (see Example 1 below).
- (d) Extend the coaxial cable from the dish, across the surface of the roof, to the mansard roof. Continue over the mansard roof and rain gutter, firmly and without slack, until the coaxial cable reaches the overhang. (Do not alter or damage the tile or rain gutter in any way.
- (e) Attach ~~wire mold~~wire mold to the overhang, continue in a straight line to the wall of the building, and down vertically and horizontally, as required, to provide entry to the manor 24" from the floor. Encase the coaxial cable in the attached

Formatted: J

[wiremoldwire mold](#). Penetrate the wall to bring coaxial cable into the manor. (See 3.5)

- (f) Do not place [wiremoldwire mold](#) -within 18" of balconies, balcony railings or balcony overhangs. Do not place [wiremoldwire mold](#) across any part of an overhang vent or near, or on, windows. Do not alter or damage wall-mounted air conditioners.

3.14 Buildings with flat roof and parapet

- (a) Place the satellite dish on the flat roof approximately 15 feet from the parapet above the manor for which the service is being provided. At no time can the dish be mounted on the side of the building or to existing fascias.
- (b) For installation of a satellite dish onto a **flat PVC cool roof**, the member must install a 3' X 3' satellite dish pad provided by the Mutual's roofing contractor at the expense of the Member.
- (c) Mount the satellite dish on a non-penetrating satellite dish roof-mount weighted down by a minimum of four, 8" x 8" x 16" cinderblocks (see Example 1 below).
- (d) Extend the coaxial cable from the dish across the surface of the flat roof to the parapet. Continue the coaxial cable up the wall of the parapet, over the crown, and down until it is several inches below an existing wire- mold installation. (Do not attach the coaxial cable to the interior wall of the parapet with fasteners.) Attach new [wiremoldwire mold](#) immediatelyimmediately below the existing [wiremoldwire mold](#) installation and continue vertically and horizontally as required to reach the manor 24" from the floor. Encase the coaxial cable in the attached [wiremoldwire mold](#). Penetrate the wall to bring coaxial cable into the manor. (See 3.5)
- (e) Do not use, alter or damage existing wire mold installation.

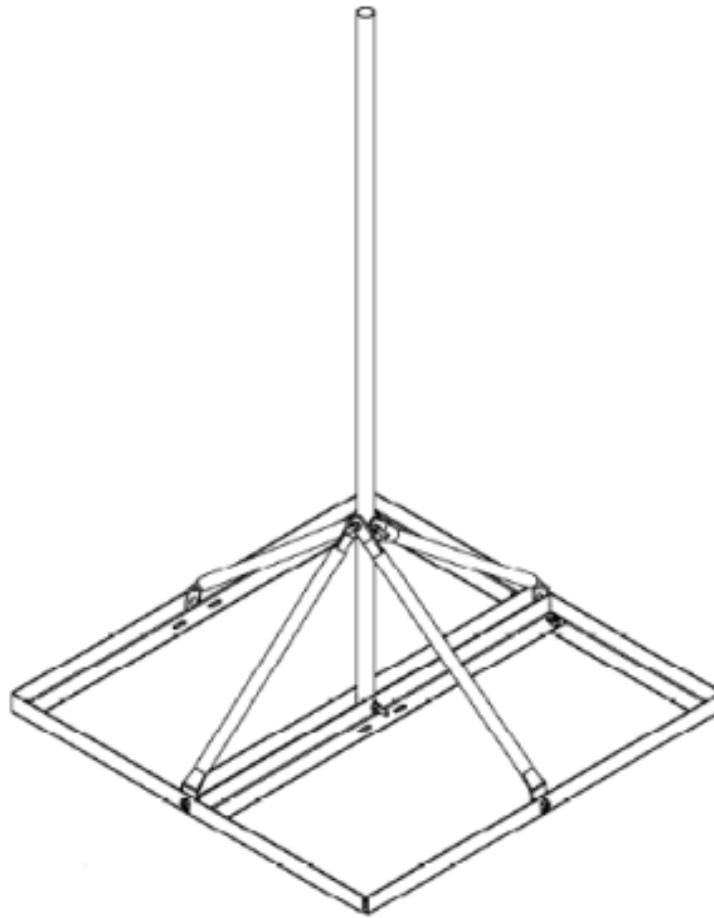
3.15 Seville

- (a) Place the satellite dish approximately 15 feet from the edge of the flat roof above the manor for which the service is being provided. At no time can the dish be mounted on the side of the building, existing fascias, or on roof beams.
- (b) For installation of a satellite dish onto a **flat PVC cool roof**, the member must install a 3' X 3' satellite dish pad provided by the Mutual's roofing contractor at the expense of the Member.
- (c) Mount the satellite dish on a non-penetrating satellite dish roof-mount weighted down by a minimum of four, 8" x 8" x 16" ~~cinder blocks~~ concrete blocks (see Example 1 below).
- (d) Extend the coaxial cable from the dish across the surface of the roof to the fascia. Attach the coaxial cable to the inside of the fascia and continue down to a location that is directly in line above the room selected for installation of the jack. Attach the coaxial cable to the overhang and continue to the wall of the building. Attach wire mold to the wall, vertically, in a straight line down to provide entry to the manor 24" from the floor. Encase the coaxial cable in the attached wire mold. Penetrate the wall to bring coaxial cable into the manor. (See 3.5)
- (e) Do not use, alter or damage existing ~~wire mold~~ wire mold installation. Do not alter or damage rain gutters.

3.16 ~~Catalina~~, Casa Milano, La Quinta and Villa Lugano series

- (a) Mounting of satellite dishes on buildings is permitted only upon approval of ~~Permits and Inspections office~~ Alterations Division of a detailed plan indicating all work to be done, i.e., size, location, description and specifications.

- (b) Satellite dish installation is permitted on Exclusive Use Common Area, e.g., patios or balconies. Dish must stay within footprint of patio or perimeter of balcony railing.



Example 1: Non-Penetrating Satellite Dish Roof Mount



Section 5C - Satellite Dishes: 3 Story Buildings

ADOPTED NOVEMBER 2006, RESOLUTION 03-06-59

REVISED APRIL 2007, RESOLUTION 03-07-33

GENERAL REQUIREMENTS REVISED APRIL 2011, RESOLUTION 03-11-49

REVISED NOVEMBER 2013, RESOLUTION 03-13-121

REVISED MARCH 2018, RESOLUTION 03-18-XX

1.0 GENERAL GUIDELINES

**FOR GENERAL REQUIREMENTS SEE SECTION 1 GENERAL REQUIREMENTS
FOR ALTERATION STANDARDS**

- 1.1 PERMITS AND FEES:** A Mutual permit is required for all alterations to the building. A City of Laguna Woods permit may be required. All fees for both Mutual and City permits shall be paid for by the Member and/or his or her contractor. Member and/or his or her contractor must provide the Permits and Inspections office with City permit number(s) prior to beginning work.
- 1.2 MEMBERS' RESPONSIBILITY:** The Member is solely responsible for the maintenance, repair, and/or removal of all alterations to the building.
- 1.3 CODES AND REGULATIONS:** All work shall comply with all applicable local, state, and federal requirements including, but not limited to, the current edition of the National Electric Code (NEC).
- 1.4 WORK HOURS:** No work shall commence prior to 7:00a.m. and no work shall be permitted after 6:00p.m. Monday through Friday. Work on Saturday shall be permitted from 9:00a.m. — 2:00p.m. for work which results in construction-related noise (e.g. cutting tile, hammering, use of power tools). For work that does not result in excessive noise, such as painting and carpet installation, permitted hours are 7:00a.m. — 6:00p.m. No work whatsoever shall be permitted on Sunday.

- ~~1.5 **PLANS:** The Member applying for a permit shall provide to the Permits and Inspections office a detailed plan(s) for approval indicating all work to be done, i.e., size, location, description and specifications.~~
- ~~1.6 **DUMPSITES:** The premises shall be kept free of accumulation of waste materials and/or rubbish caused by construction work. The Member and/or his or her contractor is responsible for removal of debris and excess material and must leave work areas "BROOM CLEAN" daily. **USE OF COMMUNITY DUMPSITES FOR CONSTRUCTION RELATED DUMPING IS NOT PERMITTED.** Contractor's or Member's dumpsters, if required, must have location approved by the Permits and Inspections office.~~
- ~~1.7 **CONTRACTOR:** Installation must be performed by a California licensed contractor of the appropriate trade.~~
- ~~1.8 **CONTRACTOR'S CONDUCT:** Member's contractor's, their personnel, and sub-contractors shall refrain at all times from using profanity, abusive or loud language, and must wear shirts at all times. Radio, MP3, CD or cassette players are not permitted on the project site. Contractor personnel will, at all times, extend and exhibit a courteous demeanor to residents.~~

2.0 GENERAL GUIDELINES

- 2.1** Any installation permitted in Mutual Common Area on three story buildings must follow all guidelines set forth by the following Mutual Alteration Standard.
- 2.2** Prior to installation of any satellite dish, a plan and the specifications of all proposed work and equipment must be submitted for approval as specified in Section 1.5. The submitted plan must indicate all work to be done, i.e., type of dish, size, a full description, it's location on the building, anchoring, and method of sealing wall(s) and attachments. Site location will be contingent upon Mutual approval.
- 2.3** The Mutual Member assumes all responsibility for any damage including, but not limited to, roof or wall damage, or damage from

moisture intrusion resulting from improper installation of the satellite dish.

- 2.4 No satellite dish shall be permitted which may become hazardous to other residents or workmen due to its location or dimensions.
- 2.5 Any satellite dish shall be made easily removable as required for performance of maintenance. In the event a satellite dish must be removed it shall be the Mutual Member's responsibility to remove and properly store the dish until such time that maintenance work has been completed. The cost of removal, storage and re-installation shall be borne by the Mutual Member.
- 2.6 Any satellite dish installation must follow all guidelines set forth by the Federal Communications Commission's Over-the-Air-Reception- Devices rule (OTARD).
- 2.7 Any installation violating these guidelines is subject to immediate removal at the sole cost of the Mutual Member, and restoration of any Mutual property, at the Member's expense.
- 2.8 Should the proposed location of a satellite dish be in an area that is Common Area, e.g., the roof, the applicant is required to execute and submit to Third Laguna Hills Mutual, prior to installation of a dish, the "Agreement Regarding Satellite Dish Installation on Common Area Property" ~~-or similarly titled document.~~

2.9 Should the proposed location of a satellite dish be in a location that is currently occupied by a functional solar panel, an alternate location will be designated by the Alteration Department.

3.0 INSTALLATION GUIDELINES

- 3.1 Satellite dish installation is permitted on Exclusive Use Common Area, e.g. patios or balconies. Dish must stay within footprint of patio or perimeter of balcony railing.

- 3.2** Only one (1) satellite dish per manor is allowed.
- 3.3** Any satellite dish installed on Common Area shall not exceed a diameter of 36", with the exception of manor types listed in paragraph 3.15 herein.
- 3.4** No coaxial cable shall be larger than ½" in diameter.
- 3.5** Unless otherwise specified, coaxial cable shall be encased in ½", 26 gauge steel wire mold fastened to the surface of the wall with ½" mounting clips and anchors, specified for stucco, attached every four feet. Wire mold shall be painted to match the surface to which it is attached **prior to installation**. Fasteners shall be properly sealed to prevent moisture intrusion. Sealants shall be specifically manufactured for the application for which it is used.
- 3.6** Drilling through a roof is prohibited.
- 3.7** Utilization of any GRF Broadband installation and/or equipment is prohibited.
- 3.8** Mounting of a satellite dish to PVC, ABS or plumbing vent pipes is prohibited.
- 3.9** No satellite dish or any portion of a satellite dish and its related members shall be attached to any built-up roofing on a flat roof.
- 3.10** No modifications to any fascia, rain gutter or plumbing vent shall be permitted. A satellite dish installation shall not obstruct a rain gutter or plumbing vent in any way.

- 3.11 It is recommended that satellite dishes and installation materials be grounded in accordance with the National Electric Code.

3.12 **Garden Villa-type buildings with a mansard roof**

- (a) Place the satellite dish approximately 15 feet from the edge of the flat roof above the manor for which the service is being provided. Coaxial cable installation is permitted on exterior walls but is prohibited on interior walls facing the courtyard. At no time can the dish be mounted on the side of the building or to existing fascias.
- (b) For installation of a satellite dish onto a **flat PVC cool roof**, the member must install a 3' X 3' satellite dish pad provided by the Mutual's roofing contractor at the expense of the Member.
- (c) Mount the satellite dish on a non-penetrating satellite dish roof-mount weighted down by a minimum of four 8" x 8" x 16" cinder blocks concrete blocks -(see Example 1 below).
- (d) Extend the coaxial cable from the dish, across the surface of the roof, to the mansard roof. Continue over the mansard roof and rain gutter, firmly and without slack, until the coaxial cable reaches the overhang. Do not alter or damage the tile or rain gutter in any way.
- (e) Attach wire mold wire mold to the overhang, continue in a straight line to the wall of the building, and down vertically and horizontally as required to provide entry to the manor 24" from the floor. Encase the coaxial cable in the attached wire mold wire mold. Penetrate the wall to bring coaxial cable into the manor. (See 3.5).
- (f) Do not place wire mold wire mold within 18" of balconies, balcony railings or balcony overhangs. Do not place wire mold wire mold across any part of an overhang vent or

near, or on, windows. Do not alter or damage wall-mounted air conditioners.

3.13 LH2Is with an overall flat roof and mansard roof

- (a) Place the satellite dish approximately 15 feet from the edge of the flat roof above the manor for which the service is being provided. Coaxial cable installation is permitted on the back and end walls but is prohibited on the front wall of the building. At no time can the dish be mounted on the side of the building or to existing fascias.
- (b) For installation of a satellite dish onto a **flat PVC cool roof**, the member must install a 3' X 3' satellite dish pad provided by the Mutual's roofing contractor at the expense of the Member.
- (c) Mount the satellite dish on a non-penetrating satellite dish roof-mount weighted down by a minimum of four 8" x 8" x 16" [cinder blocks](#) [concrete blocks](#) (see Example 1 below).
- (d) Extend the coaxial cable from the dish, across the surface of the flat roof and down the fascia. Continue over the mansard roof and rain gutter, firmly and without slack, until the coaxial cable reaches the wall of the building. Do not alter or damage the tile or rain gutter in any way.
- (e) Attach [wire mold](#) [wire mold](#) to the wall immediately below the rain gutter and continue down vertically and horizontally as required to provide entry to the manor 24" from the floor. Encase the coaxial cable in the attached [wire mold](#) [wire mold](#). Penetrate the wall to bring coaxial cable into the manor. (See 3.5)
- (f) Do not place [wire mold](#) [wire mold](#) within 18" of balconies, balcony railings or balcony overhangs. Do not place [wire mold](#) [wire mold](#) across any part of an overhang vent or

near, or on, windows. Do not alter or damage wall-mounted air conditioners.

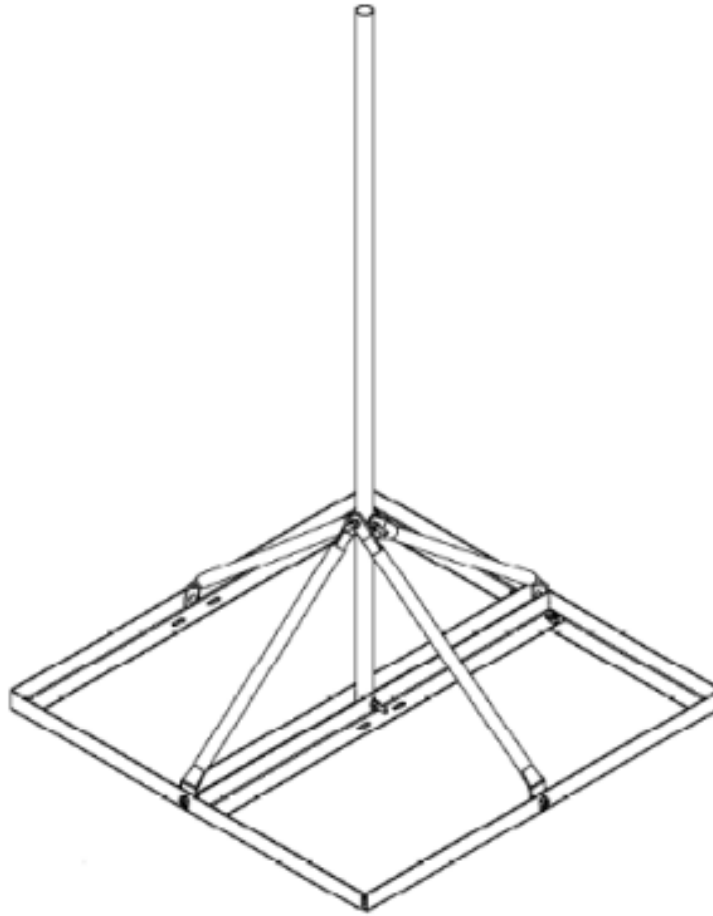
3.14 LH2Is with flat elevated center roof and mansard roof

- (a) Place the satellite dish in the approximate center of the elevated flat roof above the manor for which the service is being provided. Coaxial cable installation is permitted on the back and end walls but is prohibited on the front of the building. At no time can the dish be mounted on the side of the building or existing fascias.
- (b) For installation of a satellite dish onto a **flat PVC cool roof**, the member must install a 3' X 3' satellite dish pad provided by the Mutual's roofing contractor at the expense of the Member.
- (c) Mount the satellite dish on a non-penetrating satellite dish roof-mount weighted down by a minimum of four 8" x 8" x 16" ~~cinder blocks~~ concrete blocks (see Example 1 below).
- (d) Extend the coaxial cable from the dish across the surface of the flat elevated roof, and continue downward, firmly and without slack, over the mansard roof until the coaxial cable reaches the rain gutter or fascia. Do not alter or damage the fascia or rain gutter in any way.
- (e) Attach wire mold wire mold to the overhang, continue in a straight line to the wall of the building, and down vertically and horizontally, as required, to provide entry to the manor 24" from the floor. Encase the coaxial cable in the attached wire mold wire mold. Penetrate the wall to bring coaxial cable into the manor. (See 3.5)

- (f) Do not place [wire mold wire mold](#) within 18" of balconies, balcony railings or balcony overhangs. Do not place [wire mold wire mold](#) across any part of an overhang vent or near, or on, windows. Do not alter or damage wall-mounted air conditioners.

3.15 LH2Is with sloping overall tile roof

Satellite dish installation on the roof, side of building, or fascias is prohibited. Satellite dish installation is permitted on Exclusive Use Common Area, e.g., patios or balconies. Dish must stay within footprint of patio or perimeter of balcony railing.



Example 1: Non-Penetrating Satellite Dish Roof Mount



STAFF REPORT

DATE: February 26, 2018
FOR: Board of Directors
SUBJECT: Revisions to Alteration Standard 12 – Exterior Wall Attachments

RECOMMENDATION

Approve a resolution to revise Alteration Standard Section 12 – Exterior Wall Attachments

BACKGROUND

The Architectural Controls and Standards Committee (ACSC) requested Staff to review and revise the current Alteration Standards for applicability, usefulness, and current technology.

There are currently 40 Alteration Standards available for Members to use to perform alterations to their manor. Many have not been reviewed or updated for years to reflect changes in technology, materials, and construction methods.

Alteration Standard Section 12 – Exterior Wall Attachments was last revised in April, 1996, via Resolution M3-96-28.

DISCUSSION

The ACSC has reviewed the existing Alteration Standard Section 12 – Exterior Wall Attachments and determined that the Standard needs to be revised to reflect the current Building Codes, Municipal Codes, or Mutual policies. The proposed revisions to the Standard are as follows:

§3.1 Tile ~~pavers and veneer~~ used on a vertical surface exterior wall must be attached with thin set/epoxy mortar mixes.

§3.2 Tile ~~and veneer~~ used ~~as a brick veneer~~ will be limited to use on stucco covered exterior chimneys and entryway columns.

After review of the Standard, the ACSC determined that the following section should be added to the Standard:

§4.5 All trellis and wrought iron shall be mounted vertically.

FINANCIAL ANALYSIS

None

Prepared By: Kurt Wiemann, Permits, Inspections and Restoration Manager

Reviewed By: Eve Morton, Alterations Coordinator

ATTACHMENT(S)

Attachment 1: Resolution 03-18-XXX Revise Alteration Standard Section 12

Attachment 2: Red Lines of Alteration Standard Section 12 – Exterior Wall Attachments

Attachment 1

RESOLUTION 03-18-XX

Revise Alteration Standard Section 12 – Exterior Wall Attachments

WHEREAS, the Architectural Controls and Standards Committee recognizes the need to amend Alteration Standards and create new Alteration Standards as necessary; and,

WHEREAS, the Architectural Controls and Standards Committee recognizes the need to revise Alteration Standard Section 12 – Exterior Wall Attachments.

NOW THEREFORE BE IT RESOLVED, April 17, 2018, that the Board of Directors of this Corporation hereby revises and amends the following section of Alteration Standard Section 12 – Exterior Wall Attachments;

2.0 APPLICATIONS

- 2.1 No attachments may cover any electrical outlets or junction boxes.
- 2.2 No attachments may cover over plumbing access covers, cleanouts, or shutoffs.
- 2.3 No attachments may cover any vents, openings, or related items that will violate building code or hinder access in any way.
- 2.4 All attachments must be permanent in nature and not subject to extreme weathering or deterioration.
- 2.5 Any exterior wall attachment will be limited to only those walls which face limited common areas, such as patios or atriums.

3.0 TILE AND VENEER

- 3.1 Tile and veneer used on a vertical surface exterior wall must be attached with thin set/epoxy mortar mixes.
- 3.2 Tile and veneer used will be limited to use on stucco covered exterior chimneys and entryway columns.
- 3.3 Tile must match in color, design, and size as close as possible any brickwork on building existing.

4.0 TRELLIS AND WROUGHT IRON DESIGNS

- 4.1 Any trellis attached to a wall must be painted the same color as the wall.
- 4.2 Trellis and wrought iron shall be within 12" of walls and not used as screens, shades, or shields, nor higher than wall to which it is attached.

4.3 Wrought iron shall be easily removable for access to the wall for painting purposes.

4.4 All lags or screws into walls must be sealed prior to installation to prevent water penetration.

5.0 MURALS, AND WALL HANGINGS

5.1 Any installation of murals or wall hangings shall be limited to patio and atrium locations. No installation will protrude above the height of a patio wall.

5.2 Visual access through a wrought iron gate will be considered to be within the above statement and not a factor.

RESOLVED FURTHER, add the following section to Alteration Standard Section 12 – Exterior Wall Attachments; and,

4.5 All trellis and wrought iron shall be mounted vertically.

RESOLVED FURTHER, that the officers and agents of this Corporation are hereby authorized on behalf of the Corporation to carry out this resolution as written.

Should the Board endorse the proposed revisions, Staff recommends that a motion be made and seconded to accept the resolution and allow discussion to ensure that the resolution reads to the satisfaction of the Board. Staff then recommends that a Board Member postpones the resolution to the next available Board Meeting no less than 30-days from the postponement to comply with Civil Code §4360.



~~THIRD LAGUNA HILLS MUTUAL~~

SECTION 12 EXTERIOR WALL ATTACHMENTS

MARCH 1983

REVISED APRIL 1996, RESOLUTION M3-96-28

GENERAL REQUIREMENTS REVISED APRIL 2011, RESOLUTION 03-11-49

REVISED APRIL 2018, RESOLUTION 03-178-XX

~~SECTION 12—~~

1.0 GENERAL REQUIREMENTS

FOR GENERAL REQUIREMENTS SEE SECTION 1 GENERAL REQUIREMENTS FOR ALTERATION STANDARDS

~~1.0 GENERAL REQUIREMENTS~~

- ~~1.1 PERMITS AND FEES:~~ A Mutual permit is required for all alterations to the building. A City of Laguna Woods permit may be required. All fees for both Mutual and City permits shall be paid for by the Member and/or his or her contractor. Member and/or his or her contractor must provide the Manor Alterations Department with City permit number(s) prior to beginning work.
- ~~1.2 MEMBERS' RESPONSIBILITY:~~ The Member is solely responsible for the maintenance, repair, and/or removal of all alterations to the building.
- ~~1.3 CODES AND REGULATIONS:~~ All work shall comply with all applicable local, state, and federal requirements.
- ~~1.4 WORK HOURS:~~ No work shall commence prior to 7:00a.m. and no work shall be permitted after 6:00p.m. Monday through Friday. Work on Saturday shall be permitted from 9:00a.m. — 2:00p.m. for work which results in construction-related noise (e.g. cutting tile, hammering, use of power tools). For work that does not result in excessive noise, such as painting and carpet installation, permitted hours are 7:00a.m. — 6:00p.m. No work whatsoever shall be permitted on Sunday.
- ~~1.5 PLANS:~~ The Member applying for a permit shall provide to the Permits and Inspections office a detailed plan(s) for approval indicating all work to be done, i.e., size, location, description and specifications.



- ~~1.6 **DUMPSITES:** The premises shall be kept free of accumulation of waste materials and/or rubbish caused by construction work. The Member and/or his or her contractor is responsible for removal of debris and excess material and must leave work areas "BROOM CLEAN" daily. **USE OF COMMUNITY DUMPSITES FOR CONSTRUCTION RELATED DUMPING IS NOT PERMITTED.** Contractor's or Member's dumpsters, if required, must have location approved by the Permits and Inspections office.~~
- ~~1.7 **CONTRACTOR:** Installation must be performed by a California licensed contractor of the appropriate trade.~~
- ~~1.8 **CONTRACTOR'S CONDUCT:** Member's contractor's, their personnel, and sub-contractors shall refrain at all times from using profanity, abusive or loud language, and must wear shirts at all times. Radio, MP3, CD or cassette players are not permitted on the project site. Contractor personnel will, at all times, extend and exhibit a courteous demeanor to residents.~~

2.0 APPLICATIONS

- 2.1 No attachments may cover any electrical outlets or junction boxes.
- 2.2 No attachments may cover over plumbing access covers, cleanouts, or shutoffs.
- 2.3 No attachments may cover any vents, openings, or related items that will violate building code or hinder access in any way.
- 2.4 All attachments must be permanent in nature and not subject to extreme weathering or deterioration.
- 2.5 Any exterior wall attachment will be limited to only those walls which face limited common areas, such as patios or atriums.

3.0 TILE AND VENEER-PAVERS

- 3.1 Tile ~~pavers and veneer~~ used on a vertical surface exterior wall must be attached with thin set/epoxy mortar mixes.
- 3.2 Tile ~~and veneer~~ used ~~as a brick veneer~~ will be limited to use on stucco covered exterior chimneys and entryway columns.



- 3.3 Tile must match in color, design, and size as close as possible any brickwork on building existing.

4.0 **TRELLIS AND WROUGHT IRON DESIGNS**

- 4.1 Any trellis attached to a wall must be painted the same color as the wall.
- 4.2 Trellis and wrought iron shall be within 12" of walls and not used as screens, shades, or shields, nor higher than wall to which it is attached ~~to~~.
- 4.3 Wrought iron shall be easily removable for access to the wall for painting purposes.
- 4.4 All lags or screws into walls must be sealed prior to installation to prevent water penetration.
- 4.5 All trellis and wrought iron shall be mounted vertically.

5.0 **MURALS AND WALL HANGINGS**

- 5.1 Any installation of murals or wall hangings shall be limited to patio and atrium locations. No installation will protrude above the height of a patio wall.
- 5.2 Visual access through a wrought iron gate will be considered to be within the above statement and not a factor.



~~THIRD LAGUNA HILLS MUTUAL~~

SECTION 14 FIREPLACE INSTALLATIONS

JANUARY 1989

REVISED APRIL 1996, RESOLUTION M3-96-28

GENERAL REQUIREMENTS REVISED APRIL 2011, RESOLUTION 03-11-49

REVISED MAY 2013, RESOLUTION 03-13-55

REVISED APRIL 2018, RESOLUTION 03-18-XX

1.0 GENERAL REQUIREMENTS

**FOR GENERAL REQUIREMENTS SEE SECTION 1 GENERAL REQUIREMENTS
FOR ALTERATION STANDARDS**

1.0 — GENERAL REQUIREMENTS

- 1.1 — PERMITS AND FEES:** A Mutual permit is required for all alterations to the building. A City of Laguna Woods permit may be required. All fees for both Mutual and City permits shall be paid for by the Member and/or his or her contractor. Member and/or his or her contractor must provide the Permits and Inspections office with City permit number(s) prior to beginning work.
- 1.2 — MEMBERS' RESPONSIBILITY:** The Member is solely responsible for the maintenance, repair, and/or removal of all alterations to the building.
- 1.3 — CODES AND REGULATIONS:** All work shall comply with all applicable local, state, and federal requirements including, but not limited to, the current edition of the National Electric Code (NEC).
- 1.4 — WORK HOURS:** No work shall commence prior to 7:00a.m. and no work shall be permitted after 6:00p.m. Monday through Friday. Work on Saturday shall be permitted from 9:00a.m. — 2:00p.m. for work which results in construction-related noise (e.g. cutting tile, hammering, use of power tools). For work that does not result in excessive noise, such as

~~painting and carpet installation, permitted hours are 7:00a.m.—6:00p.m.
No work whatsoever shall be permitted on Sunday.~~

~~1.5 **PLANS:** The Member applying for a permit shall provide to the Permits and Inspections office a detailed plan(s) for approval indicating all work to be done, i.e., size, location, description and specifications.~~

~~1.6 **DUMPSITES:** The premises shall be kept free of accumulation of waste materials and/or rubbish caused by construction work. The Member and/or his or her contractor is responsible for removal of debris and excess material and must leave work areas "**BROOM CLEAN**" daily. **USE OF COMMUNITY DUMPSITES FOR CONSTRUCTION RELATED DUMPING IS NOT PERMITTED.** Contractor's or Member's dumpsters, if required, must have location approved by the Permits and Inspections office.~~

~~1.7 **CONTRACTOR:** Installation must be performed by a California licensed contractor of the appropriate trade.~~

~~1.8 **CONTRACTOR'S CONDUCT:** Member's contractor's, their personnel, and sub-contractors shall refrain at all times from using profanity, abusive or loud language, and must wear shirts at all times. Radio, MP3, CD or cassette players are not permitted on the project site. Contractor personnel will, at all times, extend and exhibit a courteous demeanor to residents.~~

2.0 **APPLICATIONS**

2.1 All installations must meet the Southern California Air Quality Management District (SCAQMD) Rule 445 Wood Burning Devices as required by the City of Laguna Woods (949-639-0500).

2.2 All units shall be constructed to the same height as originally designed units.

2.3 Fireplaces will be permitted to be built only as a part of a building where a fireplace had been an optional item during construction and shall be located as shown on the original plan.

2.4 The exterior design and construction shall be as originally planned.

2.5 Fireplaces will be permitted to be removed in single story manors.

2.6 The installation of a carbon monoxide detector is required when a fireplace is installed if one does not exist.

3.0 **SPARK ARRESTORS**

- 3.1** Spark arrestors will be required for new units.
- 3.2** Spark arrestors shall be flat wire or screen type as part of the flue assembly designed for the unit.
- 3.3** A permit will be required for installation of spark arrestors or rain caps for existing fireplaces. Some units, depending upon design and color, may be required to be painted to match the building or chimney color.
- 3.4** No spark arrestor or rain cap may protrude higher than 12" above the flue exit.



~~THIRD LAGUNA HILLS MUTUAL~~

SECTION 16 GARAGE DOORS, SECTIONAL OR ONE PIECE

JANUARY 1993

REVISED AUGUST 2002, RESOLUTION M3-02-39

GENERAL REQUIREMENTS REVISED APRIL 2011, RESOLUTION 03-11-49

REVISED DECEMBER 2014, RESOLUTION 03-14-141

REVISED SEPTEMBER 2015, RESOLUTION 03-15-127

REVISED APRIL 2018, RESOLUTION 03-18-XX

1.0 GENERAL REQUIREMENTS

**FOR GENERAL REQUIREMENTS SEE SECTION 1 GENERAL REQUIREMENTS
FOR ALTERATION STANDARDS**

1.0 GENERAL REQUIREMENTS

- 1.1 PERMITS AND FEES:** ~~A Mutual Consent for Manor Alteration(s) is required for all alterations to the building. A City of Laguna Woods permit may be required. All fees for both Mutual Consents and City permits shall be paid for by the Member and/or his or her contractor. Member and/or his or her contractor must provide the Manor Alterations Department with City permit number(s) prior to beginning work.~~
- 1.2 MEMBERS' RESPONSIBILITY:** ~~The Member is solely responsible for the maintenance, repair, and/or removal of all alterations to the building.~~
- 1.3 CODES AND REGULATIONS:** ~~All work shall comply with all applicable local, state, and federal requirements including, but not limited to, the current edition of the National Electric Code (NEC).~~
- 1.4 WORK HOURS:** ~~No work shall commence prior to 7:00a.m. and no work shall be permitted after 6:00p.m. Monday through Friday. Work on Saturday shall be permitted from 9:00a.m. — 2:00p.m. for work which results in construction-related noise (e.g. cutting tile, hammering, use of power tools). For work that does not result in excessive noise, such as~~

~~painting and carpet installation, permitted hours are 7:00a.m. — 6:00p.m. No work whatsoever shall be permitted on Sunday.~~

~~1.5 **PLANS:** The Member applying for a permit shall provide to the Manor Alterations Department a detailed plan(s) for approval indicating all work to be done, i.e., size, location, description and specifications.~~

~~1.6 **DUMPSITES:** The premises shall be kept free of accumulation of waste materials and/or rubbish caused by construction work. The Member and/or his or her contractor is responsible for removal of debris and excess material and must leave work areas "**BROOM CLEAN**" daily. **USE OF COMMUNITY DUMPSITES FOR CONSTRUCTION RELATED DUMPING IS NOT PERMITTED.** Contractor's or Member's dumpsters, if required, must have location approved by the Manor Alterations Department.~~

~~1.7 **CONTRACTOR:** Installation must be performed by a California licensed contractor of the appropriate trade.~~

~~1.8 **CONTRACTOR'S CONDUCT:** Member's contractor's, their personnel, and sub-contractors shall refrain at all times from using profanity, abusive or loud language, and must wear shirts at all times. Radio, MP3, CD or cassette players are not permitted on the project site. Contractor personnel will, at all times, extend and exhibit a courteous demeanor to residents.~~

2.0 **APPLICATIONS**

2.1 No garage door will be installed that requires modification to the building structure.

2.2 Garage doors shall utilize existing door frames with only minor modifications to facilitate fit and clearances.

2.3 With the exception provided in paragraph 2.4, all garage doors in multi-unit buildings shall be selected and/or painted to ~~maintain an appearance that conforms to the approved paint color criteria as dictated by the Mutual's Policy on Exterior Paint Colors and Procedures. The style and color of all doors installed shall be selected to~~ match other garage doors in the same building.

2.4 Alteration metal garage doors with a white/off-white factory finish are exempt from being painted during the Exterior Paint Program when white/off-white is part of the approved color scheme for that particular building.

2.5 All garage doors shall be of aluminum, ~~wood~~ or steel construction. One-piece or sectional panel style is optional. Sectional style shall be limited to five panels maximum.

- 2.6** Built-in self closing mail slots are permissible.
- 2.7** Built-in windows in the top panel or second from the top panel of a sectional panel style garage door are permissible.
- 2.8** All design or patterns including window shape and size must be in keeping with the architecture of the building. Approval by the Permits and Inspections office will be deemed in keeping with the existing architecture of the building.
- 2.9** No built-in type access or pet doors will be permitted.